



PLANNING COMMISSION REGULAR MEETING

December 4, 2018

ADMINISTRATIVE ITEM

Agenda Item # 6

Still Water Phases 5 and 6 Final Plats
2000 West Parkview Drive

Factual Summation

Please review the following information. Any questions regarding this agenda item may be directed to Royce Davies, City Planner or Noah Steele, CED Director.

Location:	2000 West Parkview Drive
Current Zoning:	RPC
General Plan:	RPC
Total Subdivision Area	
Phase 5:	19.22 Acres
Phase 6:	14.94 Acres
Number of Lots	
Phase 5:	77
Phase 6:	90

Summary

The applicant has requested approval of two final subdivision plats as part of the Still Water development being built by Woodside Homes. Phase 5 will complete the central section of the development between 2000 West and the Davis County Canal. Phase 6 will be the first new phase west of 2000 West.

All planning and fire comments have been addressed for phase 5 and there are two engineering comments. The City Engineer has expressed that he is comfortable with a conditional approval regarding these comments.

All planning and fire comments have been addressed for phase 6 and there are 11 engineering comments. The City Engineer has expressed that he is comfortable with a conditional approval regarding these comments.

Recommendation

Because there are outstanding staff comments on both plats, staff recommends they be **conditionally approved**.

Suggested Motion Language

Approval – “I move the Planning Commission recommend the City Council approve the request of Woodside Homes of Utah, LLC for approval of two final plats named Still Water 5 and Still Water 6 at 2000 West Parkview Drive in the Residential Planned Community Zone with the following condition:

1. All staff comments shall be addressed before the plats are recorded with Davis County.

Table – “I move the Planning Commission continue the request of Woodside Homes of Utah, LLC for approval of two final plats named Still Water 5 and Still Water 6 at 2000 West Parkview Drive in the Residential Planned Community Zone until (give date) based on the following findings:

1. (list findings)”

Denial – “I move the Planning Commission deny the request of Woodside Homes of Utah, LLC for approval of two final plats named Still Water 5 and Still Water 6 at 2000 West Parkview Drive in the Residential Planned Community Zone based on the following findings:

1. (list findings).”

Attachments:

- Aerial Map
- General Plan Map
- Zoning Map
- Phase 5 Final Plat
- Phase 6 Final Plat
- Residential Planned Community Zoning Ordinance
- Phase 5 Staff Reviews
- Phase 6 Staff Reviews

Still Water Phases 5 and 6

2000 West Parkview Drive

Legend

Property Outline

PHASE 6

PHASE 5

S-2000-W

W-Gentile-St

3150-S

S-Bluff-Rd



1000 ft

Still Water Phases 5 and 6 General Plan

2000 West Parkview Drive

Legend

- A-1 Agriculture
- Institutional
- Open Space / Recreational
- Property Outline
- R-1 (2.90 dwellings per net acre)
- R-2 (3.79 dwellings per net acre)
- Residential Planned Community Zone

PHASE 6

PHASE 5

S 2000 W


W Gentle St





Still Water Phases 5 and 6 Zoning


2000 West Parkview Drive


Legend

 Agriculture A-1

 Property Outline

 R-1 (2.90 dwellings per net

 R-2 (3.79 dwellings per net acre)

 Residential Planned Community Zone

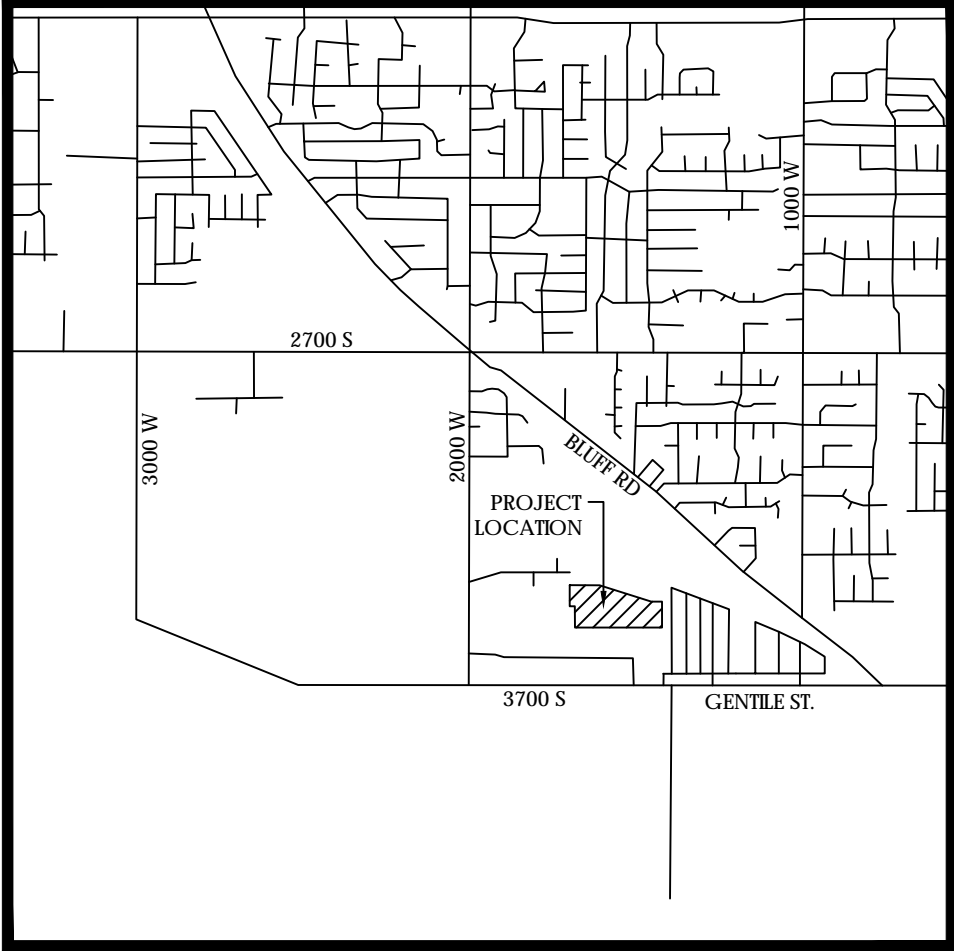
PHASE 6

PHASE 5

S-2000-W

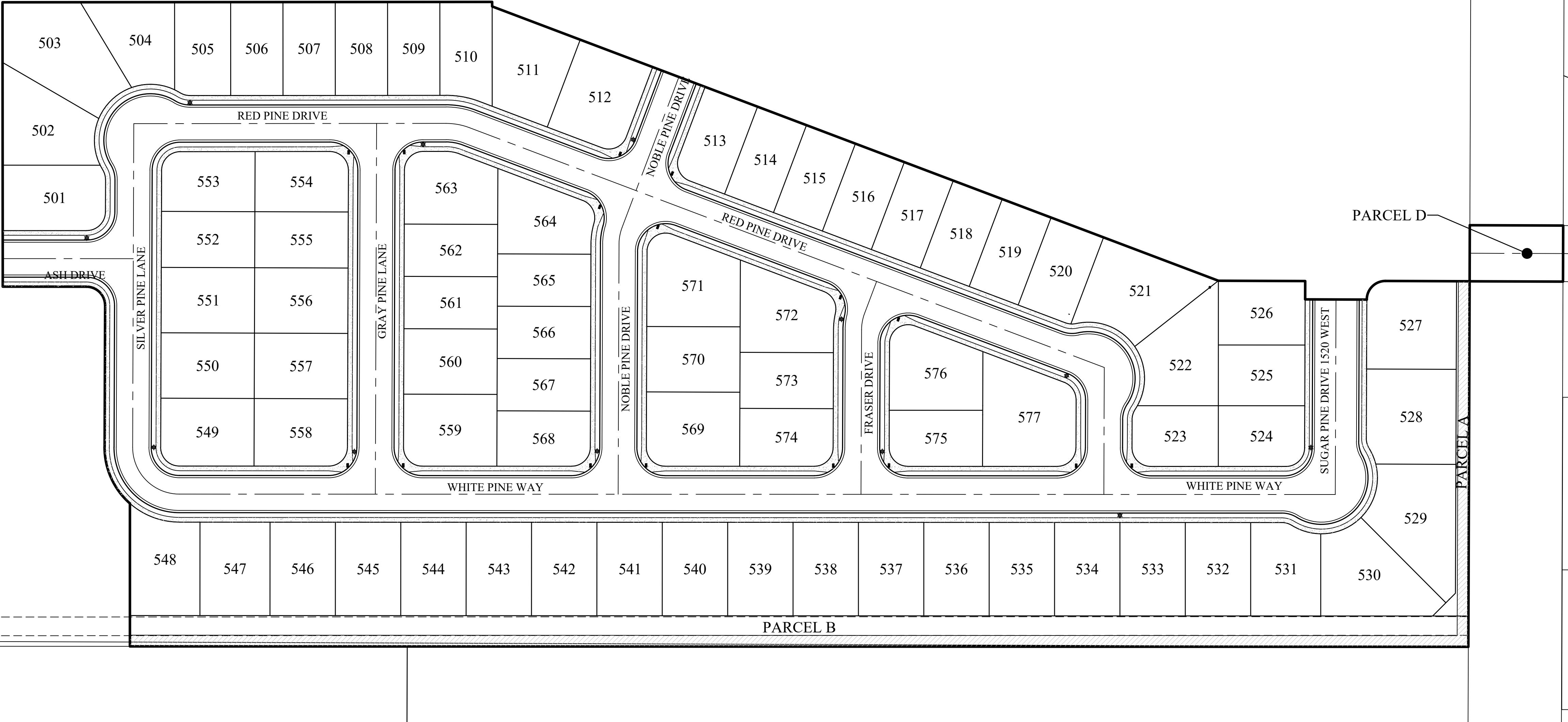
W-Gentile-St





VICINITY MAP
NTS

Sheet List Table	
Sheet Number	Sheet Title
C1	COVER
C2	PLAT
C2.1	PLAT
C3	SITE PLAN
C4	GRADING PLAN
C5	DRAINAGE PLAN
C6	SEWER PLAN
C7	WATER PLAN
C8	EROSION CONTROL PLAN
PP01	RED PINE DRIVE
PP02	RED PINE DRIVE
PP03	RED PINE DRIVE
PP04	RED PINE DRIVE
PP05	ASH DRIVE
PP06	SILVER PINE LANE
PP07	WHITE PINE WAY
PP08	WHITE PINE WAY
PP09	WHITE PINE WAY
PP10	GRAY PINE LANE
P11	NOBLE PINE DRIVE
PP12	NOBLE PINE DRIVE
PP13	FRASER DRIVE
PP14	SUGAR PINE DRIVE



SITE MAP

GENERAL NOTES

- CONTRACTOR TO FIELD VERIFY HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO COMMENCEMENT OF CONSTRUCTION, AND REPORT ANY DISCREPANCIES TO THE ENGINEER.
- ANY AND ALL DISCREPANCIES IN THESE PLANS ARE TO BE BROUGHT TO THE ENGINEER'S ATTENTION PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- ALL CONSTRUCTION SHALL ADHERE TO SYRACUSE CITY STANDARD PLANS AND SPECIFICATIONS.
- ALL UTILITIES AND ROAD IMPROVEMENTS SHOWN ON THE PLANS HEREIN SHALL BE CONSTRUCTED USING REFERENCE TO SURVEY CONSTRUCTION STAKES PLACED UNDER THE SUPERVISION OF A PROFESSIONAL LICENSED SURVEYOR WITH A CURRENT LICENSE ISSUED BY THE STATE OF UTAH. ANY IMPROVEMENTS INSTALLED BY ANY OTHER VERTICAL OR HORIZONTAL REFERENCE WILL NOT BE ACCEPTED OR CERTIFIED BY THE ENGINEER OF RECORD.

NOTICE

BEFORE PROCEEDING WITH THIS WORK, THE CONTRACTOR SHALL CAREFULLY CHECK AND VERIFY ALL CONDITIONS, QUANTITIES, DIMENSIONS, AND GRADE ELEVATIONS, AND SHALL REPORT ALL DISCREPANCIES TO THE ENGINEER.

ENGINEER'S NOTES TO CONTRACTOR

- THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITY PIPES, CONDUITS OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED BY A SEARCH OF THE AVAILABLE RECORDS, TO THE BEST OF OUR KNOWLEDGE, THERE ARE NO EXISTING UTILITIES EXCEPT AS SHOWN ON THESE PLANS. THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITY LINES SHOWN ON THESE DRAWINGS. THE CONTRACTOR FURTHER ASSUMES ALL LIABILITY AND RESPONSIBILITY FOR THE UTILITY PIPES, CONDUITS OR STRUCTURES SHOWN OR NOT SHOWN ON THESE DRAWINGS. IF UTILITY LINES ARE ENCOUNTERED DURING CONSTRUCTION THAT ARE NOT IDENTIFIED BY THESE PLANS, CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY.
- CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE CITY, THE OWNER, AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.
- UNAUTHORIZED CHANGES & USES: THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THESE PLANS.
- ALL CONTOUR LINES SHOWN ON THE PLANS ARE AN INTERPRETATION BY CAD SOFTWARE OF FIELD SURVEY WORK PERFORMED BY A LICENSED SURVEYOR. DUE TO THE POTENTIAL DIFFERENCES IN INTERPRETATION OF CONTOURS BY VARIOUS TYPES OF GRADING SOFTWARE BY OTHER ENGINEERS OR CONTRACTORS, FOCUS DOES NOT GUARANTEE OR WARRANTY THE ACCURACY OF SUCH LINework. FOR THIS REASON, FOCUS WILL NOT PROVIDE ANY GRADING CONTOURS IN CAD FOR ANY TYPE OF USE BY THE CONTRACTOR. SPOT ELEVATIONS AND PROFILE ELEVATIONS SHOWN IN THE DESIGN DRAWINGS GOVERN ALL DESIGN INFORMATION ILLUSTRATED ON THE APPROVED CONSTRUCTION SET. CONSTRUCTION EXPERTISE AND JUDGMENT BY THE CONTRACTOR IS ANTICIPATED BY THE ENGINEER TO COMPLETE BUILD-OUT OF THE INTENDED IMPROVEMENTS.

CONTACTS

ENGINEER & SURVEYOR
FOCUS ENGINEERING & SURVEYING,LLC
32 WEST CENTER STREET
MIDVALE, UTAH 84047
(801) 352-0075
PROJECT MANAGER: MATHEW WANGSGAARD
SURVEY MANAGER: SPENCER LLEWELYN

OWNER/DEVELOPER
WOODSIDE HOMES OF UTAH LLC
460 WEST 50 NORTH #200,
SALT LAKE CITY, UTAH 84101
(801) 869-4000
CONTACT: GARRETT SEELY OR DEREK TERRY

CITY ENGINEER
SYRACUSE CITY
1979 WEST 1900 SOUTH
SYRACUSE, UTAH 84075
(801) 614-9630
CONTACT: BRIAN BLOEMEN, P.E.



GRAPHIC SCALE

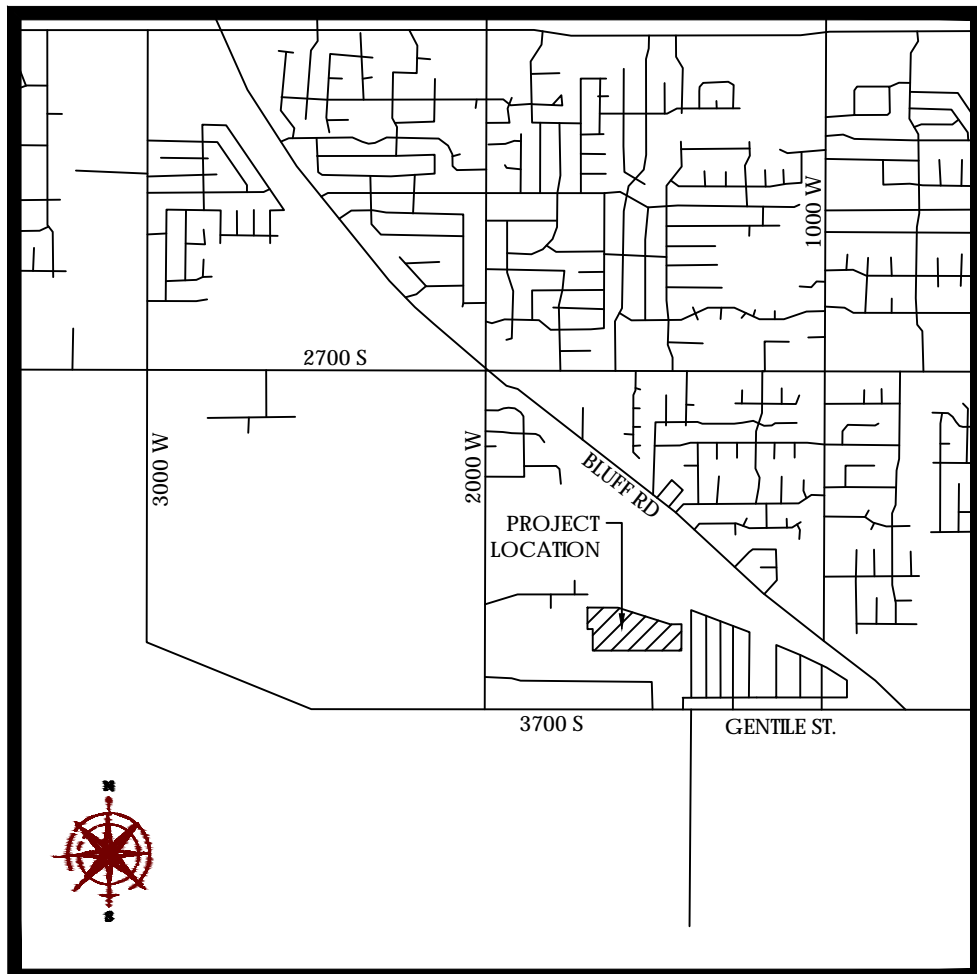
(IN FEET)
1 inch = 70 ft.



STILL WATER PHASE 5
SYRACUSE, DAVIS COUNTY, UTAH
COVER

REVISION BLOCK	
#	DESCRIPTION
1	
2	
3	
4	
5	
6	

COVER	
Scale: 1"=70'	Drawn: CMC
Date: 11/21/18	Job #: 18-101
Sheet:	C1



VICINITY MAP

N.T.S.

Lot	Address
501	1786 W Wash Drive (3470 South) or 3462 S Silver Pine Lane (1765 West)
502	3492 S Silver Pine Lane (1765 West)
503	1774 W Red Pine Drive
504	1764 W Red Pine Drive
505	1754 W Red Pine Drive
506	1744 W Red Pine Drive
507	1734 W Red Pine Drive
508	1724 W Red Pine Drive
509	1714 W Red Pine Drive
510	1704 W Red Pine Drive
511	1694 W Red Pine Drive
512	1684 W Red Pine Drive
513	1674 W Red Pine Drive
514	1664 W Red Pine Drive
515	1654 W Red Pine Drive
516	1644 W Red Pine Drive
517	1634 W Red Pine Drive
518	1624 W Red Pine Drive
519	1614 W Red Pine Drive
520	1604 W Red Pine Drive
521	1594 W Red Pine Drive
522	1584 W Red Pine Drive
523	1574 W Red Pine Drive
524	1564 W Red Pine Drive
525	1554 W Red Pine Drive
526	1544 W Red Pine Drive
527	1534 W Red Pine Drive
528	1524 W Red Pine Drive
529	1514 W Red Pine Drive
530	1504 W Red Pine Drive
531	1494 W Red Pine Drive
532	1484 W Red Pine Drive
533	1474 W Red Pine Drive
534	1464 W Red Pine Drive
535	1454 W Red Pine Drive
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546	1344 W Red Pine Drive
547	1334 W Red Pine Drive
548	1324 W Red Pine Drive
549	1314 W Red Pine Drive
550	1304 W Red Pine Drive
551	1294 W Red Pine Drive
552	1284 W Red Pine Drive
553	1274 W Red Pine Drive
554	1264 W Red Pine Drive
555	1254 W Red Pine Drive
556	1244 W Red Pine Drive
557	1234 W Red Pine Drive
558	1224 W Red Pine Drive
559	1214 W Red Pine Drive
560	1204 W Red Pine Drive
561	1194 W Red Pine Drive
562	1184 W Red Pine Drive
563	1174 W Red Pine Drive
564	1164 W Red Pine Drive
565	1154 W Red Pine Drive
566	1144 W Red Pine Drive
567	1134 W Red Pine Drive
568	1124 W Red Pine Drive
569	1114 W Red Pine Drive
570	1104 W Red Pine Drive
571	1094 W Red Pine Drive
572	1084 W Red Pine Drive
573	1074 W Red Pine Drive
574	1064 W Red Pine Drive
575	1054 W Red Pine Drive
576	1044 W Red Pine Drive
577	1034 W Red Pine Drive
578	1024 W Red Pine Drive
579	1014 W Red Pine Drive
580	1004 W Red Pine Drive
581	994 W Red Pine Drive
582	984 W Red Pine Drive
583	974 W Red Pine Drive
584	964 W Red Pine Drive
585	954 W Red Pine Drive
586	944 W Red Pine Drive
587	934 W Red Pine Drive
588	924 W Red Pine Drive
589	914 W Red Pine Drive
590	904 W Red Pine Drive
591	894 W Red Pine Drive
592	884 W Red Pine Drive
593	874 W Red Pine Drive
594	864 W Red Pine Drive
595	854 W Red Pine Drive
596	844 W Red Pine Drive
597	834 W Red Pine Drive
598	824 W Red Pine Drive
599	814 W Red Pine Drive
600	804 W Red Pine Drive
601	794 W Red Pine Drive
602	784 W Red Pine Drive
603	774 W Red Pine Drive
604	764 W Red Pine Drive
605	754 W Red Pine Drive
606	744 W Red Pine Drive
607	734 W Red Pine Drive
608	724 W Red Pine Drive
609	714 W Red Pine Drive
610	704 W Red Pine Drive
611	694 W Red Pine Drive
612	684 W Red Pine Drive
613	674 W Red Pine Drive
614	664 W Red Pine Drive
615	654 W Red Pine Drive
616	644 W Red Pine Drive
617	634 W Red Pine Drive
618	624 W Red Pine Drive
619	614 W Red Pine Drive
620	604 W Red Pine Drive
621	594 W Red Pine Drive
622	584 W Red Pine Drive
623	574 W Red Pine Drive
624	564 W Red Pine Drive
625	554 W Red Pine Drive
626	544 W Red Pine Drive
627	534 W Red Pine Drive
628	524 W Red Pine Drive
629	514 W Red Pine Drive
630	504 W Red Pine Drive
631	494 W Red Pine Drive
632	484 W Red Pine Drive
633	474 W Red Pine Drive
634	464 W Red Pine Drive
635	454 W Red Pine Drive
636	444 W Red Pine Drive
637	434 W Red Pine Drive
638	424 W Red Pine Drive
639	414 W Red Pine Drive
640	404 W Red Pine Drive
641	394 W Red Pine Drive
642	384 W Red Pine Drive
643	374 W Red Pine Drive
644	364 W Red Pine Drive
645	354 W Red Pine Drive
646	344 W Red Pine Drive
647	334 W Red Pine Drive
648	324 W Red Pine Drive
649	314 W Red Pine Drive
650	304 W Red Pine Drive
651	294 W Red Pine Drive
652	284 W Red Pine Drive
653	274 W Red Pine Drive
654	264 W Red Pine Drive
655	254 W Red Pine Drive
656	244 W Red Pine Drive
657	234 W Red Pine Drive
658	224 W Red Pine Drive
659	214 W Red Pine Drive
660	204 W Red Pine Drive
661	194 W Red Pine Drive
662	184 W Red Pine Drive
663	174 W Red Pine Drive
664	164 W Red Pine Drive
665	154 W Red Pine Drive
666	144 W Red Pine Drive
667	134 W Red Pine Drive
668	124 W Red Pine Drive
669	114 W Red Pine Drive
670	104 W Red Pine Drive
671	94 W Red Pine Drive
672	84 W Red Pine Drive
673	74 W Red Pine Drive
674	64 W Red Pine Drive
675	54 W Red Pine Drive
676	44 W Red Pine Drive
677	34 W Red Pine Drive
678	24 W Red Pine Drive
679	14 W Red Pine Drive
680	4 W Red Pine Drive

LEGEND

—	BOUNDARY
- - -	SECTION LINE
- - - -	EASEMENT
- - - - -	RIGHT-OF-WAY LINE
- - - - -	BUILDING SETBACK
- - - - -	EXISTING PROPERTY LINE
●	#5 REBAR AND CAP (FOCUS ENGINEERING) TO BE SET
⊙	SECTION MONUMENT (FOUND)
⊕	STREET MONUMENT (TO BE SET)



ROCKY MOUNTAIN POWER	
APPROVED THIS _____ DAY OF _____, 20____, ROCKY MOUNTAIN POWER	
BY _____	
TITLE _____	

COMCAST	
APPROVED THIS _____ DAY OF _____, 20____, BY COMCAST	
BY _____	
TITLE _____	
DOMINION ENERGY	
APPROVED THIS _____ DAY OF _____, 20____, BY DOMINION ENERGY COMPANY	
BY _____	
TITLE _____	

CENTURY LINK	
APPROVED THIS _____ DAY OF _____, 20____, BY CENTURY LINK	
BY _____	
TITLE _____	
PLANNING COMMISSION	
APPROVED THIS _____ DAY OF _____, 20____, BY THE SYRACUSE CITY PLANNING COMMISSION.	
CHAIRMAN, PLANNING COMMISSION _____	

CITY ENGINEER	
APPROVED AS TO FORM THIS _____ DAY OF _____, A.D., 20____.	
SYRACUSE CITY ENGINEER _____	
CITY ATTORNEY	
APPROVED AS TO FORM THIS _____ DAY OF _____, A.D., 20____.	
SYRACUSE CITY ATTORNEY _____	

5,600 - 7,000+S.F. BUILDING SETBACKS	
N.T.S.	
*SETBACKS TO BE VARIED 3' AT THE FRONT LOT TO LOT	
DATE: 08/15/2018	PAGE 1 OF 2
CITY COUNCIL	
PRESENTED TO THE SYRACUSE CITY COUNCIL THIS _____ DAY OF _____, 20____, AT WHICH TIME THIS SUBDIVISION WAS APPROVED AND ACCEPTED.	
MAYOR _____	
ATTEST _____	CITY RECORDER

PHASE INFORMATION		
ZONE	TOTAL AREA	PHASE 5 LOTS
RPC	19.36 ACRES	77
RECORDED #		
STATE OF UTAH, COUNTY OF DAVIS RECORDED AND FILED AT THE REQUEST OF _____		
DATE _____	TIME _____	BOOK _____
FEE _____		COUNTY RECORDER _____

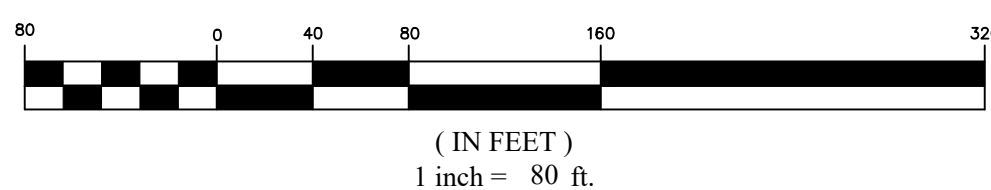
STILL WATER SUBDIVISION

PHASE 5

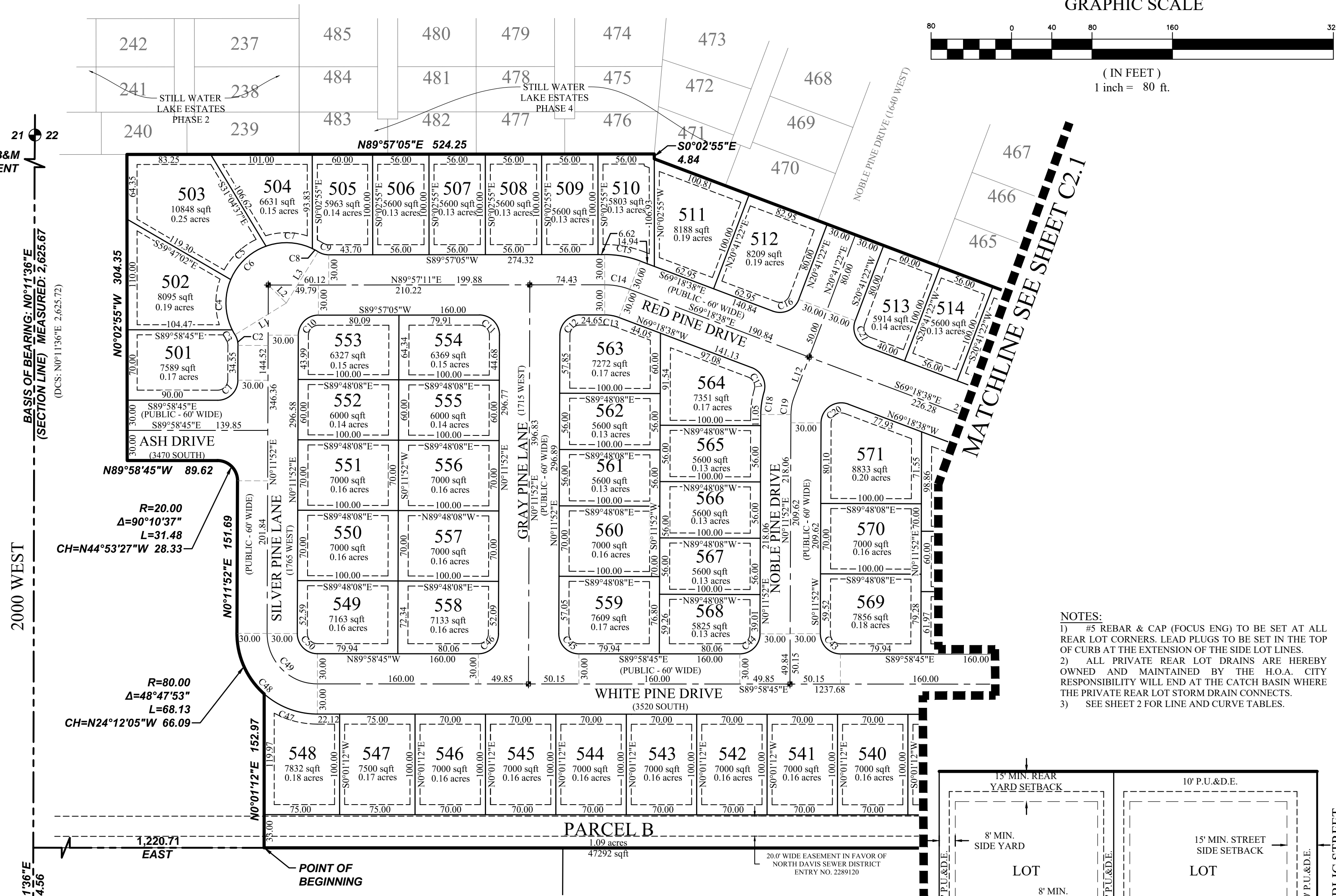
A PORTION OF THE SW 1/4 OF SECTION 22, T4N, R2W, SLB&M
SYRACUSE, DAVIS COUNTY, UTAH



GRAPHIC SCALE



WEST 1/4 CORNER OF
SECTION 22, T4N, R2W, SLB&M
3" DAVIS COUNTY MONUMENT



SOUTHWEST CORNER OF
SECTION 22, T4N, R2W, SLB&M
3" DAVIS COUNTY MONUMENT

SOUTH 1/4 CORNER OF
SECTION 22, T4N, R2W, SLB&M
3" DAVIS COUNTY MONUMENT

N89°58'45"W (SECTION LINE) 2,653.63
(D.C.S. N89°59'02"W 2653.30)

NOTES:
1) #5 REBAR & CAP (FOCUS ENG) TO BE SET AT ALL REAR LOT CORNERS. LEAD PLUGS TO BE SET IN THE TOP OF CURB AT THE EXTENSION OF THE SIDE LOT LINES.
2) ALL PRIVATE REAR LOT DRAINS ARE HEREBY OWNED AND MAINTAINED BY THE H.O.A. CITY RESPONSIBILITY WILL END AT THE CATCH BASIN WHERE THE PRIVATE REAR LOT STORM DRAIN CONNECTS.
3) SEE SHEET 2 FOR LINE AND CURVE TABLES.

SURVEYOR'S CERTIFICATE
I, Spencer W. Llewellyn, do hereby certify that I am a Professional Land Surveyor, and that I hold Certificate No. 10516507 in accordance with Title 58, Chapter 22 of Utah State Code. I further certify by authority of the owner(s) that I have completed a Survey of the property described on this Plat in accordance with Section 17-23-17 of said Code, and have subdivided said tract of land into lots, blocks, streets, and easements, and the same has, or will be correctly surveyed, staked and monumented on the ground as shown on this Plat, and that this Plat is true and correct.

Spencer W. Llewellyn
Professional Land Surveyor
Certificate No. 10516507

Date _____

BOUNDARY DESCRIPTION
A portion of the SW 1/4 of Section 22, Township 4 North, Range 2 West, Salt Lake Base & Meridian, located in Syracuse, Utah, more particularly described as follows:
Beginning at a point on the North line of STILL WATER LAKE ESTATES PHASE 4A, according to the Official Plat thereof recorded September 2, 2016 as Book 6593 Page 1067 in the Office of the Davis County Recorder located N89°17'34"E along the Section line 824.56 feet and East 1,220.71 feet from the Southwest Corner of Section 22, T4N, R2W, SLB&M, thence N00°01'12"E 152.97 feet; thence Northwesterly along the arc of a non-tangent curve to the right having a radius of 80.00 feet (radius bears: N41°23'59"E) a distance of 68.13 feet through a central angle of 48°47'53" Chord: N24°12'05"W 66.09 feet; thence N00°11'52"E 151.69 feet; thence along the arc of a curve to the left with a radius of 20.00 feet a distance of 31.48 feet through a central angle of 90°10'37" Chord: N44°53'27"W 28.33 feet; thence N89°58'45"W 89.62 feet; thence N00°02'55"W 304.35 feet; thence N89°57'05"E 524.25 feet; thence S00°02'55"E 4.84 feet; thence S69°18'38"E 831.18 feet; thence S89°47'53"E 92.98 feet; thence S00°12'07"W 19.60 feet; thence S89°47'53"E 66.00 feet; thence Northwesterly along the arc of a non-tangent curve to the right having a radius of 20.00 feet (radius bears: S89°47'53"E) a distance of 31.42 feet through a central angle of 90°00'00" Chord: N45°12'07"E 28.28 feet; thence S89°47'53"E 90.00 feet to the 1/4 Section line; thence N01°20'27"E along the 1/4 Section line 60.00 feet; thence S89°47'53"E 100.00 feet to the Westerly line of STILL WATER LAKE ESTATES PHASE 5, according to the Official Plat thereof on file in the Office of the Davis County Recorder; thence S00°12'07"W along said plat 60.00 feet; thence N89°47'53"W 100.00 feet to the 1/4 Section line; thence S00°12'07"W along the 1/4 Section line 391.32 feet to the Northerly line of said STILL WATER LAKE ESTATES PHASE 4A; thence N89°58'45"W along said plat 1,433.05 feet to the point of beginning.
Contains: 19.36 acres +/-

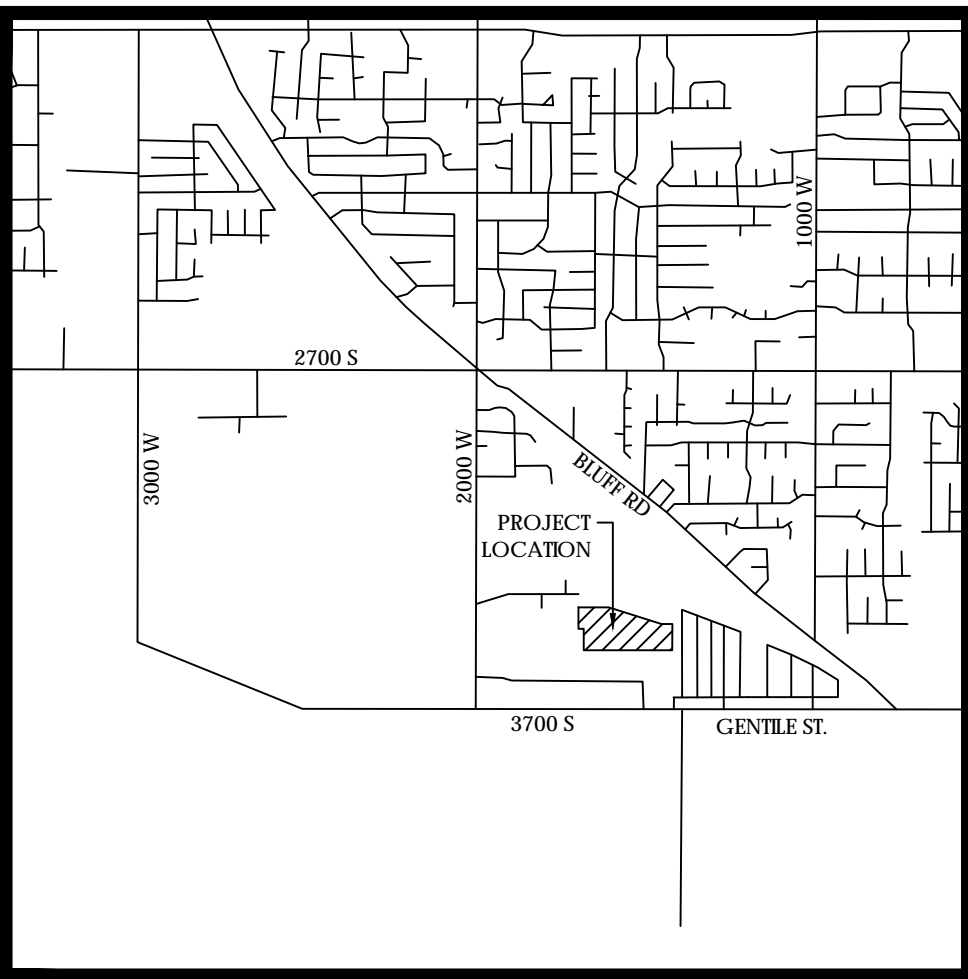
OWNER'S DEDICATION
WE, THE UNDERSIGNED OWNERS OF THE HEREON DESCRIBED TRACT OF LAND, HEREBY SET APART AND SUBDIVIDE THE SAME INTO LOTS AND STREETS AS SHOWN ON THIS PLAT, AND NAME SAID TRACT
STILL WATER SUBDIVISION
PHASE 5

AND DO HEREBY DEDICATE, GRANT AND CONVEY TO SYRACUSE CITY, DAVIS COUNTY, UTAH, ALL THOSE PARTS AND PORTIONS OF SAID TRACTS OF LAND DESIGNATED AS STREETS, THE SAME TO BE USED AS PUBLIC THOROUGHFARES FOREVER, ALSO THOSE CERTAIN STRIPS AS EASEMENTS FOR PUBLIC UTILITY AND DRAINAGE PURPOSES AS SHOWN HEREON, THE SAME TO BE USED FOR THE INSTALLATION, MAINTENANCE AND OPERATION OF PUBLIC UTILITY SERVICE LINES AND DRAINAGE AS MAY BE AUTHORIZED BY SYRACUSE CITY. PARCELS "A" & "B" TO BE DEDICATED TO SYRACUSE CITY FOR PUBLIC UTILITY AND DRAINAGE PURPOSES AS SHOWN HEREON. PARCELS "C" TO BE DEDICATED TO SYRACUSE CITY AS PUBLIC ROW AND AS FLOOD CONTROL EASEMENT IN FAVOR OF DAVIS COUNTY, THE SAME TO BE USED FOR THE INSTALLATION, MAINTENANCE AND OPERATION OF PUBLIC UTILITY SERVICE LINES AND DRAINAGE AS MAY BE AUTHORIZED BY SYRACUSE CITY. TO WARRANT AND DEFEND AND SAVE THE CITY HARMLESS AGAINST ANY EASEMENTS OR OTHER ENCUMBRANCES ON THE DEDICATED STREETS WHICH WILL INTERFERE WITH THE CITY'S USE, MAINTENANCE AND OPERATION OF THE STREETS.

SIGNED THIS _____ DAY OF _____, 20____

CORPORATE ACKNOWLEDGMENT

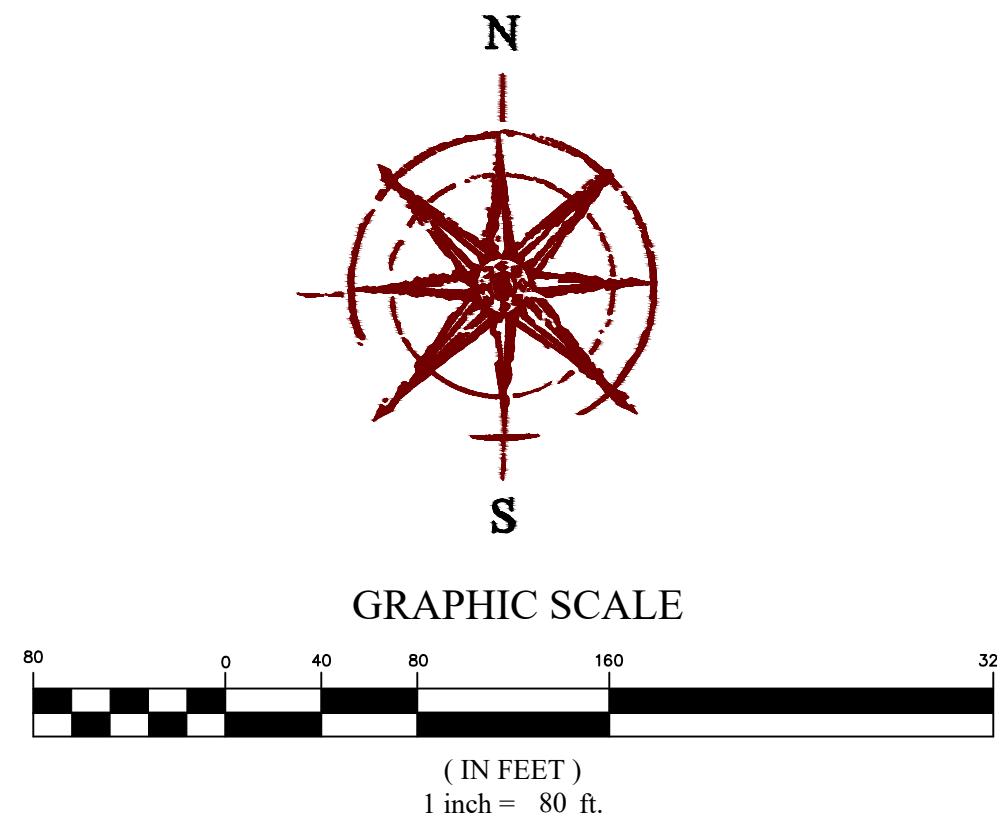
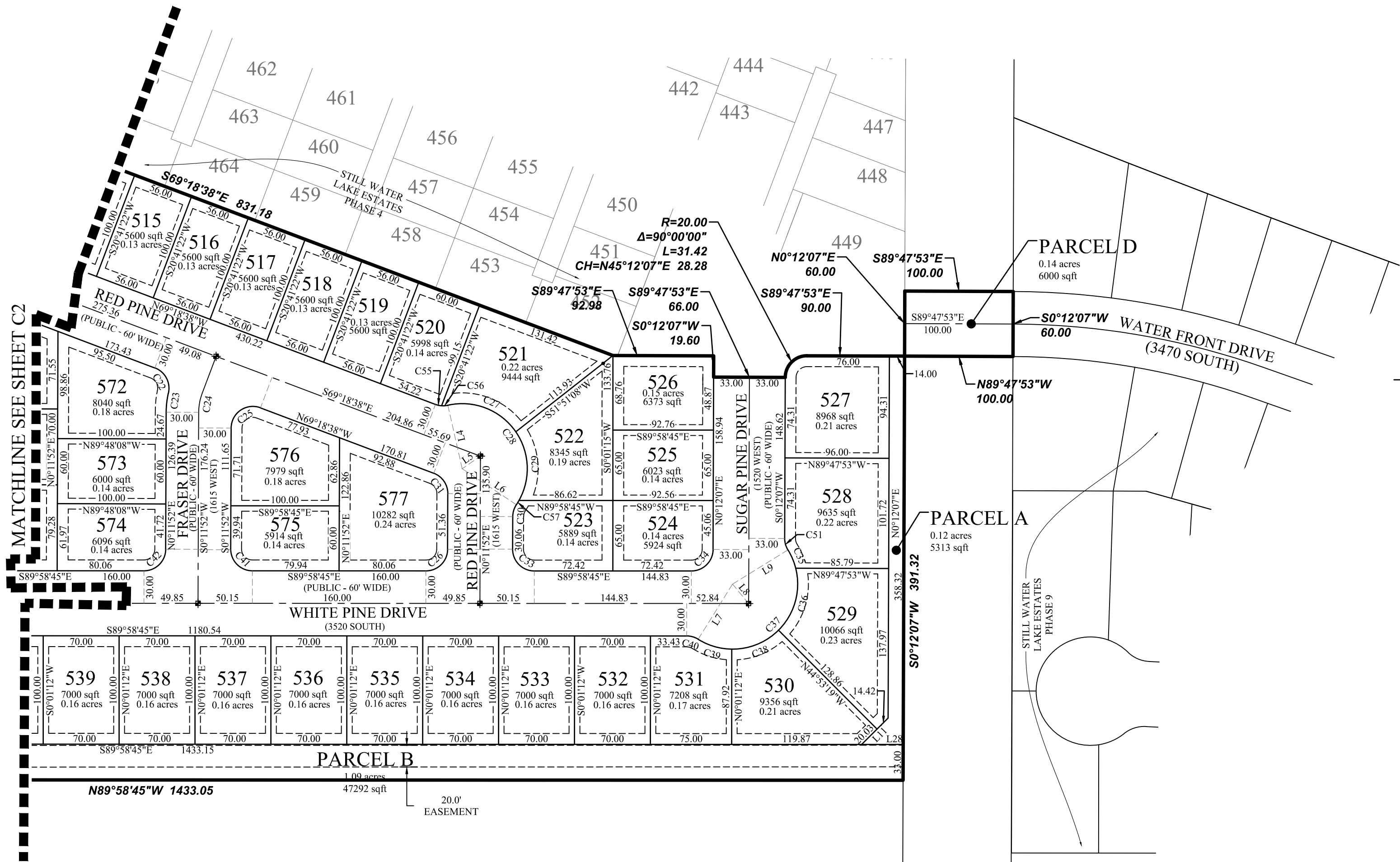
STATE OF UTAH
S.S.
COUNTY OF _____
ON THE _____ DAY OF _____, A.D. 20____, PERSONALLY APPEARED BEFORE ME,



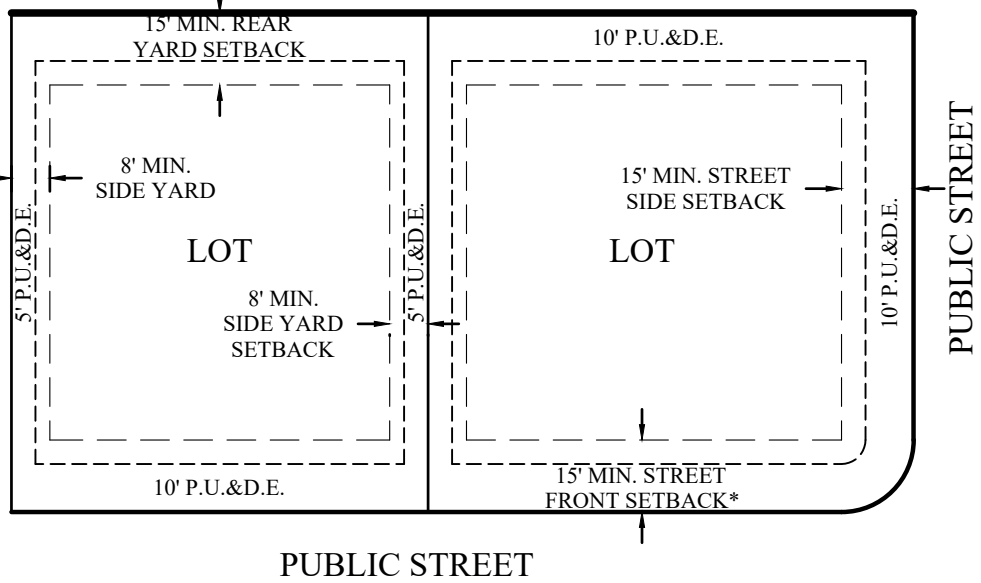
VICINITY MAP
N.T.S

Curve Table					
CURVE	RADIUS	DELTA	LENGTH	CHORD DIRECTION	CHORD LENGTH
C1	20.00	89°49'23"	31.35	N45°06'33"E	28.24
C2	20.00	31°54'19"	11.14	N15°45'18"W	10.99
C3	60.00	5°23'05"	5.64	N29°00'55"W	5.64
C4	60.00	49°16'19"	51.60	N01°41'13"W	50.02
C5	60.00	47°28'18"	49.71	N46°41'05"E	48.30
C6	60.00	153°33'52"	160.81	S45°04'28"W	116.82
C7	60.00	45°11'24"	47.32	S86°59'04"E	46.11
C8	60.00	6°14'46"	6.54	S61°15'59"E	6.54
C9	20.00	31°54'19"	11.14	S74°05'45"E	10.99
C10	20.00	89°45'13"	31.33	S45°04'28"W	28.22
C11	20.00	90°14'47"	31.50	N44°55'32"W	28.34
C12	20.00	89°45'13"	31.33	S45°04'28"W	28.22
C13	40.00	20°44'17"	14.48	N79°40'46"W	14.40
C14	70.00	20°44'17"	25.34	N79°40'46"W	25.20
C15	100.00	20°44'17"	36.19	N79°40'46"W	36.00
C16	20.00	90°00'00"	31.42	N65°41'22"E	28.28
C17	20.00	85°38'00"	29.89	N26°29'38"W	27.19
C18	80.00	16°07'31"	22.52	S08°15'37"W	22.44
C19	50.00	20°29'30"	17.88	S10°26'37"W	17.79
C20	20.00	110°29'30"	38.57	S55°26'37"W	32.86
C21	20.00	90°00'00"	31.42	S24°18'38"E	28.28
C43	20.00	90°10'37"	31.48	S44°53'27"E	28.33
C44	20.00	89°49'23"	31.35	N45°06'33"E	28.24
C45	20.00	90°10'37"	31.48	S44°53'27"E	28.33
C46	20.00	89°49'23"	31.35	N45°06'33"E	28.24
C47	80.00	41°22'44"	57.78	S69°17'23"E	56.53
C48	80.00	90°10'37"	125.91	S44°53'27"E	113.31
C49	50.00	90°10'37"	78.69	S44°53'27"E	70.82
C50	20.00	90°10'37"	31.48	S44°53'27"E	28.33

Line Table		
LINE	DIRECTION	LENGTH
L1	S58°17'32"W	60.00
L2	S44°55'25"E	25.28
L3	N31°51'25"E	60.00
L4	N12°42'56"W	60.00
L5	N55°26'37"E	20.43
L6	S56°23'50"E	60.00
L7	S31°55'15"W	60.00
L8	S39°39'09"E	23.28
L9	N58°18'07"E	60.00
L11	N45°01'15"E	34.45
L12	S20°41'22"W	42.39
L28	N89°58'45"W	38.28



NOTES:
1) #5 REBAR & CAP (FOCUS ENG) TO BE SET AT ALL REAR LOT CORNERS. LEAD PLUGS TO BE SET IN THE TOP OF CURB AT THE EXTENSION OF THE SIDE LOT LINES.
2) ALL PRIVATE REAR LOT DRAINS ARE HEREBY OWNED AND MAINTAINED BY THE H.O.A. CITY RESPONSIBILITY WILL END AT THE CATCH BASIN WHERE THE PRIVATE REAR LOT STORM DRAIN CONNECTS.



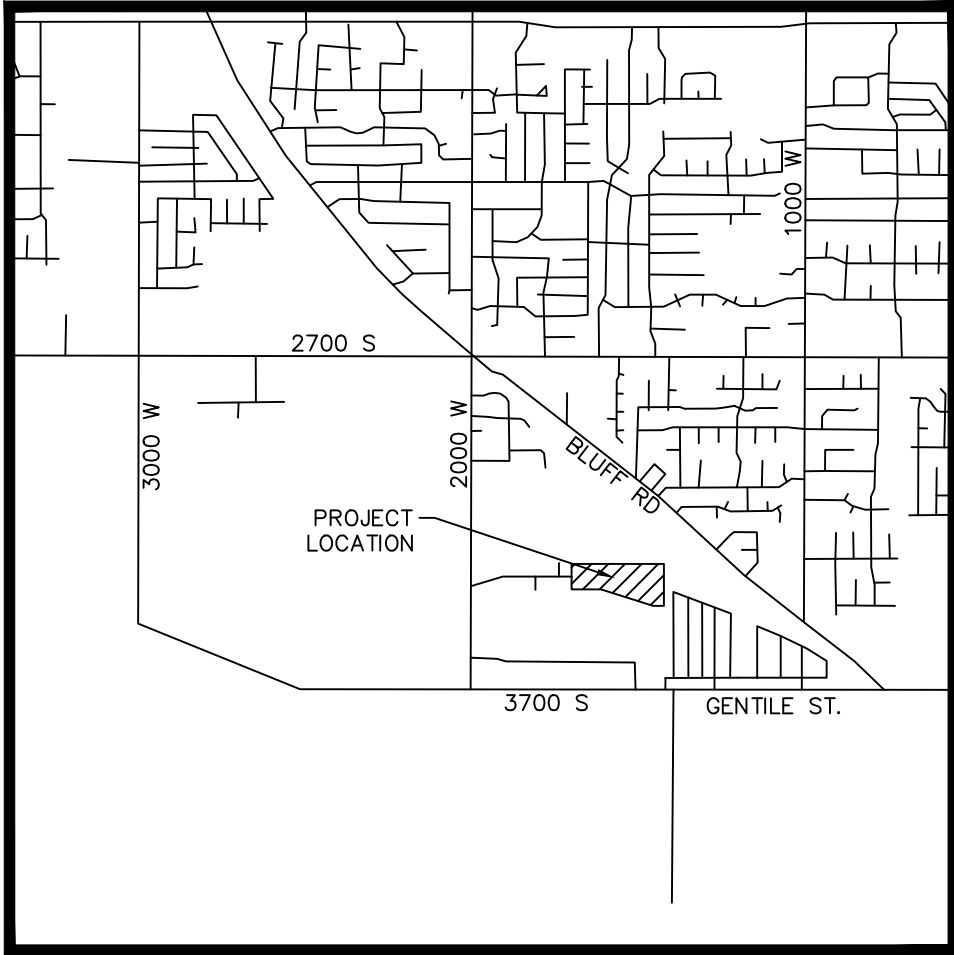
5,600 - 7,000+S.F. BUILDING SETBACKS
N.T.S. *SETBACKS TO BE VARIED 3' AT THE FRONT LOT TO LOT

LEGEND

—	BOUNDARY
- - -	SECTION LINE
- . - .	EASEMENT
- - - -	RIGHT-OF-WAY LINE
- - - -	BUILDING SETBACK
- - - -	EXISTING PROPERTY LINE
●	#5 REBAR AND CAP (FOCUS ENGINEERING) TO BE SET
⊙	SECTION MONUMENT (FOUND)
⊕	STREET MONUMENT (TO BE SET)



RECORDED # _____
STATE OF UTAH, COUNTY OF DAVIS
RECORDED AND FILED AT THE REQUEST OF _____
DATE _____ TIME _____ BOOK _____ PAGE _____
\$ _____
FEE _____ COUNTY RECORDER _____



VICINITY MAP
NTS

ENGINEER'S NOTES TO CONTRACTOR

1. THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITY PIPES, CONDUITS OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED BY A SEARCH OF THE AVAILABLE RECORDS, TO THE BEST OF OUR KNOWLEDGE, THERE ARE NO EXISTING UTILITIES EXCEPT AS SHOWN ON THESE PLANS. THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITY LINES SHOWN ON THESE DRAWINGS. THE CONTRACTOR FURTHER ASSUMES ALL LIABILITY AND RESPONSIBILITY FOR THE UTILITY PIPES, CONDUITS OR STRUCTURES SHOWN OR NOT SHOWN ON THESE DRAWINGS, IF UTILITY LINES ARE ENCOUNTERED DURING CONSTRUCTION THAT ARE NOT IDENTIFIED BY THESE PLANS, CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY.

2. CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE CITY, THE OWNER, AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.

3. UNAUTHORIZED CHANGES & USES: THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THESE PLANS.

4. ALL CONTOUR LINES SHOWN ON THE PLANS ARE AN INTERPRETATION BY CAD SOFTWARE OF FIELD SURVEY WORK PERFORMED BY A LICENSED SURVEYOR. DUE TO THE POTENTIAL DIFFERENCES IN INTERPRETATION OF CONTOURS BY VARIOUS TYPES OF GRADING SOFTWARE BY OTHER ENGINEERS OR CONTRACTORS, FOCUS DOES NOT GUARANTEE OR WARRANTY THE ACCURACY OF SUCH LINEWORK. FOR THIS REASON, FOCUS WILL NOT PROVIDE ANY GRADING CONTOURS IN CAD FOR ANY TYPE OF USE BY THE CONTRACTOR. SPOT ELEVATIONS AND PROFILE ELEVATIONS SHOWN IN THE DESIGN DRAWINGS GOVERN ALL DESIGN INFORMATION ILLUSTRATED ON THE APPROVED CONSTRUCTION SET. CONSTRUCTION EXPERTISE AND JUDGMENT BY THE CONTRACTOR IS ANTICIPATED BY THE ENGINEER TO COMPLETE BUILD-OUT OF THE INTENDED IMPROVEMENTS.

GENERAL NOTES

1. CONTRACTOR TO FIELD VERIFY HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO COMMENCEMENT OF CONSTRUCTION, AND REPORT ANY DISCREPANCIES TO THE ENGINEER.

2. ANY AND ALL DISCREPANCIES IN THESE PLANS ARE TO BE BROUGHT TO THE ENGINEER'S ATTENTION PRIOR TO COMMENCEMENT OF CONSTRUCTION.

3. ALL CONSTRUCTION SHALL ADHERE TO SYRACUSE CITY AND NORTH DAVIS SEWER DISTRICT STANDARD PLANS AND SPECIFICATIONS.

4. ALL UTILITIES AND ROAD IMPROVEMENTS SHOWN ON THE PLANS HEREIN SHALL BE CONSTRUCTED USING REFERENCE TO SURVEY CONSTRUCTION STAKES PLACED UNDER THE SUPERVISION OF A PROFESSIONAL LICENSED SURVEYOR WITH A CURRENT LICENSE ISSUED BY THE STATE OF UTAH. ANY IMPROVEMENTS INSTALLED BY ANY OTHER VERTICAL OR HORIZONTAL REFERENCE WILL NOT BE ACCEPTED OR CERTIFIED BY THE ENGINEER OF RECORD.

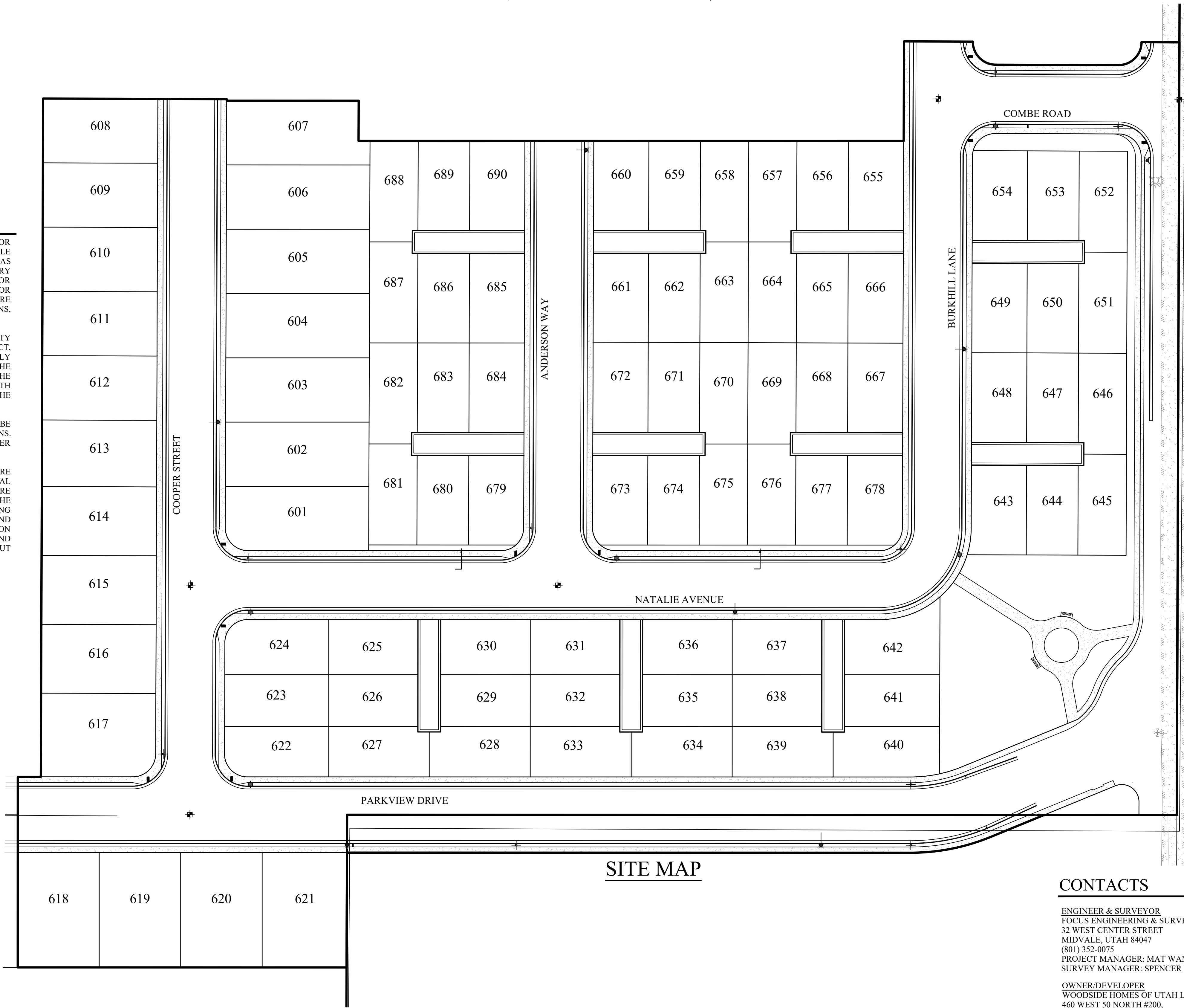
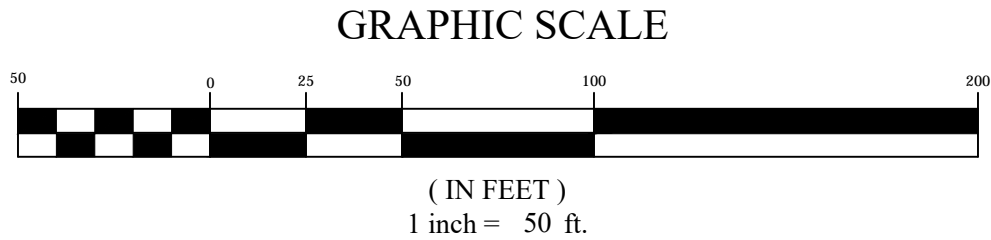
5. THIS DRAWING SET IS SCALED TO BE PRINTED ON A 24" X 36" SIZE OF PAPER (ARCH D). IF PRINTED ON A SMALLER PAPER SIZE, THE DRAWING WILL NOT BE TO SCALE AND SHOULD NOT BE USED TO SCALE MEASUREMENTS FROM THE PAPER DRAWING. ALSO USE CAUTION, AS THERE MAY BE TEXT OR DETAIL THAT MAY BE OVERLOOKED DUE TO THE SMALL SIZE OF THE DRAWING.

NOTICE

BEFORE PROCEEDING WITH THIS WORK, THE CONTRACTOR SHALL CAREFULLY CHECK AND VERIFY ALL CONDITIONS, QUANTITIES, DIMENSIONS, AND GRADE ELEVATIONS, AND SHALL REPORT ALL DISCREPANCIES TO THE ENGINEER.

STILL WATER PHASE 6

PREPARED FOR:
WOODSIDE HOMES OF UTAH, LLC
LOCATED IN:
SYRACUSE, DAVIS COUNTY, UTAH

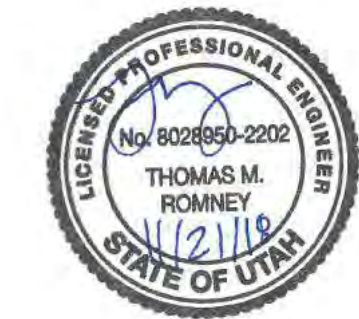


Sheet List Table	
Sheet Number	Sheet Title
C1	COVERSHEET
C2	FINAL PLAT
C2.1	FINAL PLAT
C3	SITE PLAN
C4	GRADING PLAN
C4.1	GRADING PLAN
C4.2	GRADING PLAN
C4.3	GRADING PLAN
C4.4	GRADING PLAN
C5	DRAINAGE PLAN
C5.1	OFF-SITE DRAINAGE PLAN
C6	SEWER PLAN
C7	WATER PLAN
C8	EROSION CONTROL PLAN
C9	OFF-SITE STORM DRAIN
PP1	COMBE ROAD
PP2	ANDERSON WAY
PP3	NATALIE AVENUE
PP4	NATALIE AVENUE
PP5	COOPER STREET
PP6	COOPER STREET
PP7	PARKVIEW DRIVE
PP8	PARKVIEW DRIVE
PP9	BURKHILL LANE
PP10	2000 WEST
PP11	OFF-SITE DRAINAGE OUTFALL
PP12	OFF-SITE DRAINAGE OUTFALL
PP13	OFF-SITE DRAINAGE OUTFALL

CONTACTS

ENGINEER & SURVEYOR
FOCUS ENGINEERING & SURVEYING,LLC
32 WEST CENTER STREET
MIDVALE, UTAH 84047
(801) 352-0075
PROJECT MANAGER: MAT WANGSGAARD
SURVEY MANAGER: SPENCER LLEWELYN

OWNER/DEVELOPER
WOODSIDE HOMES OF UTAH LLC
460 WEST 50 NORTH #200,
SALT LAKE CITY, UTAH 84101
(801) 869-4000
CONTACT: GARRETT SEELY OR DEREK TERRY



STILL WATER PHASE 6
SYRACUSE, DAVIS COUNTY, UTAH
COVERSHEET

REVISION BLOCK	
#	DESCRIPTION
1	
2	
3	
4	
5	
6	

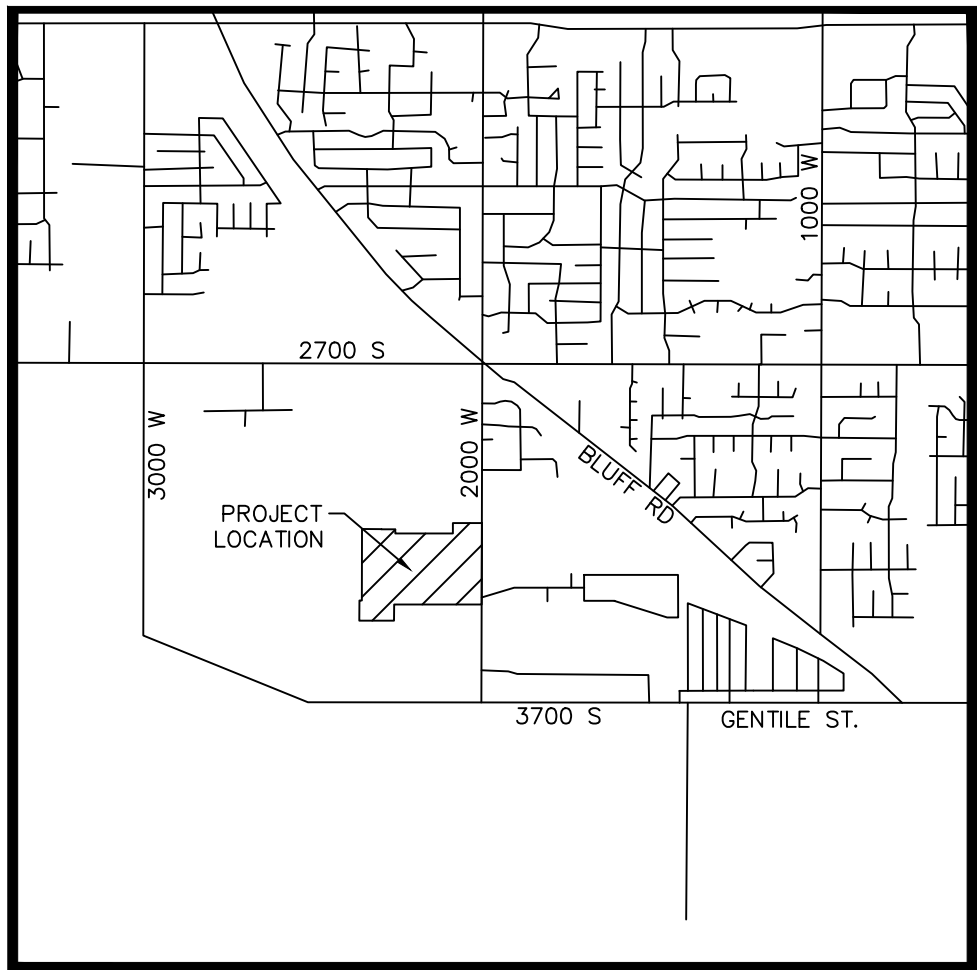
COVERSHEET

Scale: 1"=50'
Date: 11/21/18
Sheet:

Drawn: MW
Job #: 18-102

C1



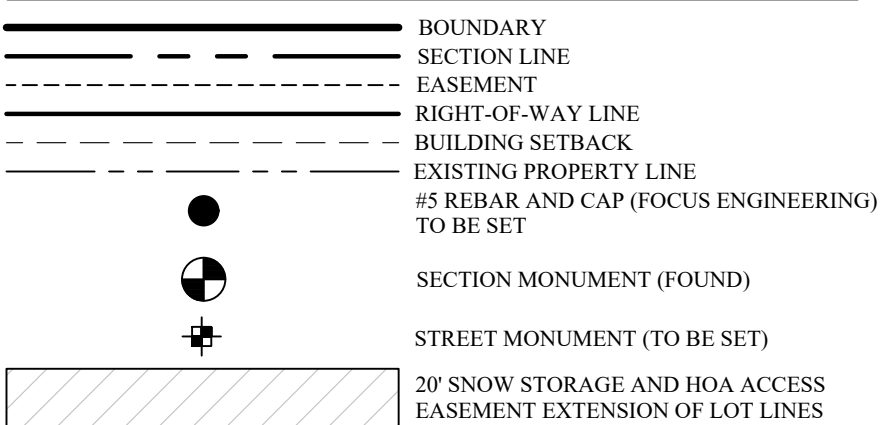


VICINITY MAP
N.T.S

ADDRESS TABLE			
LOT	ADDRESS	LOT	ADDRESS
601	3375 S Cooper Street (2150 West)	644	3373 S Burkhill Lane (2035 West)
	2134 W Natalie Avenue (3385 South)	645	3375 S Burkhill Lane (2035 West)
602	3365 S Cooper Street (2150 West)	646	3351 S Burkhill Lane (2035 West)
603	3355 S Cooper Street (2150 West)	647	3353 S Burkhill Lane (2035 West)
604	3345 S Cooper Street (2150 West)	648	3355 S Burkhill Lane (2035 West)
605	3335 S Cooper Street (2150 West)	649	3341 S Burkhill Lane (2035 West)
606	3325 S Cooper Street (2150 West)	650	3343 S Burkhill Lane (2035 West)
607	3315 S Cooper Street (2150 West)	651	3345 S Burkhill Lane (2035 West)
608	3316 S Cooper Street (2150 West)	652	3321 S Burkhill Lane (2035 West)
609	3326 S Cooper Street (2150 West)	653	3323 S Burkhill Lane (2035 West)
610	3336 S Cooper Street (2150 West)	654	3325 S Burkhill Lane (2035 West)
611	3346 S Cooper Street (2150 West)	655	2046 W 3330 South
612	3356 S Cooper Street (2150 West)	656	2056 W 3330 South
613	3366 S Cooper Street (2150 West)	657	2066 W 3330 South
614	3376 S Cooper Street (2150 West)	658	2076 W 3330 South
615	3386 S Cooper Street (2150 West)	659	2086 W 3330 South
616	3396 S Cooper Street (2150 West)	660	2096 W 3330 South
617	3416 S Cooper Street (2150 West)	661	2095 W 3330 South
	2162 W Parkview Drive (3415 South)	662	2085 W 3330 South
618	2171 W Parkview Drive (3415 South)	663	2075 W 3330 South
619	2161 W Parkview Drive (3415 South)	664	2065 W 3330 South
620	2151 W Parkview Drive (3415 South)	665	2055 W 3330 South
621	2131 W Parkview Drive (3415 South)	666	2045 W 3330 South
622	3415 S S Cooper Street (2150 West)	667	2044 W 3360 South
	2142 W Parkview Drive (3415 South)	668	2054 W 3360 South
623	3405 S S Cooper Street (2150 West)	669	2064 W 3360 South
624	3395 S S Cooper Street (2150 West)	670	2076 W 3360 South
	2143 W Natalie Avenue (3385 South)	671	2084 W 3360 South
625	2127 W Natalie Avenue (3385 South)	672	2094 W 3360 South
626	2129 W Natalie Avenue (3385 South)	673	2093 W 3360 South
627	2122 W Parkview Drive (3415 South)	674	2083 W 3360 South
628	2102 W Parkview Drive (3415 South)	675	2073 W 3360 South
629	2109 W Natalie Avenue (3385 South)	676	2063 W 3360 South
630	2107 W Natalie Avenue (3385 South)	677	2053 W 3360 South
631	2097 W Natalie Avenue (3385 South)	678	2043 W 3360 South
632	2099 W Natalie Avenue (3385 South)	679	2103 W 3360 South
633	2092 W Parkview Drive (3415 South)	680	2113 W 3360 South
634	2072 W Parkview Drive (3415 South)	681	2123 W 3360 South
635	2079 W Natalie Avenue (3385 South)	682	2124 W 3360 South
636	2077 W Natalie Avenue (3385 South)	683	2114 W 3360 South
637	2067 W Natalie Avenue (3385 South)	684	2104 W 3360 South
638	2069 W Natalie Avenue (3385 South)	685	2105 W 3330 South
639	2062 W Parkview Drive (3415 South)	686	2115 W 3330 South
640	2042 W Parkview Drive (3415 South)	687	2125 W 3330 South
641	2049 W Natalie Avenue (3385 South)	688	2126 W 3330 South
642	2047 W Natalie Avenue (3385 South)	689	2116 W 3330 South
643	3371 S Burkhill Lane (2035 West)	690	2106 W 3300 South
Parcel A	2032 W Parkview Drive		

NOTES:
1) #5 REBAR & CAP (FOCUS ENG) TO BE SET AT ALL REAR LOT CORNERS. LEAD PLUGS TO BE SET IN THE TOP BACK OF CURB AT THE EXTENSION OF THE SIDE LOT LINES.
2) PARCELS "A, B & C" ARE DESIGNATED AS COMMON AREA AND ARE HEREBY OWNED AND MAINTAINED BY THE HOA.
3) ALL PRIVATE REAR LOT DRAINS ARE HEREBY OWNED AND MAINTAINED BY THE HOA. CITY RESPONSIBILITY WILL END AT THE CATCH BASIN WHERE THE PRIVATE REAR LOT STORM DRAIN CONNECTS.
4) ALL PRIVATE DRIVEWAYS PARCELS "D-N" SHALL BE SHARED ACCESS FOR ALL LOTS WHICH FRONT THEM AND WILL BE SOLELY OWNED AND MAINTAINED BY THE HOA.
5) HATCHED AREA BEYOND PARCELS "D-N" IS A 20' SNOW STORAGE AND HOA ACCESS EASEMENT EXTENSION OF LOT LINES.
6) PARCEL "O" TO BE OWNED AND MAINTAINED BY DAVIS COUNTY SCHOOL DISTRICT.

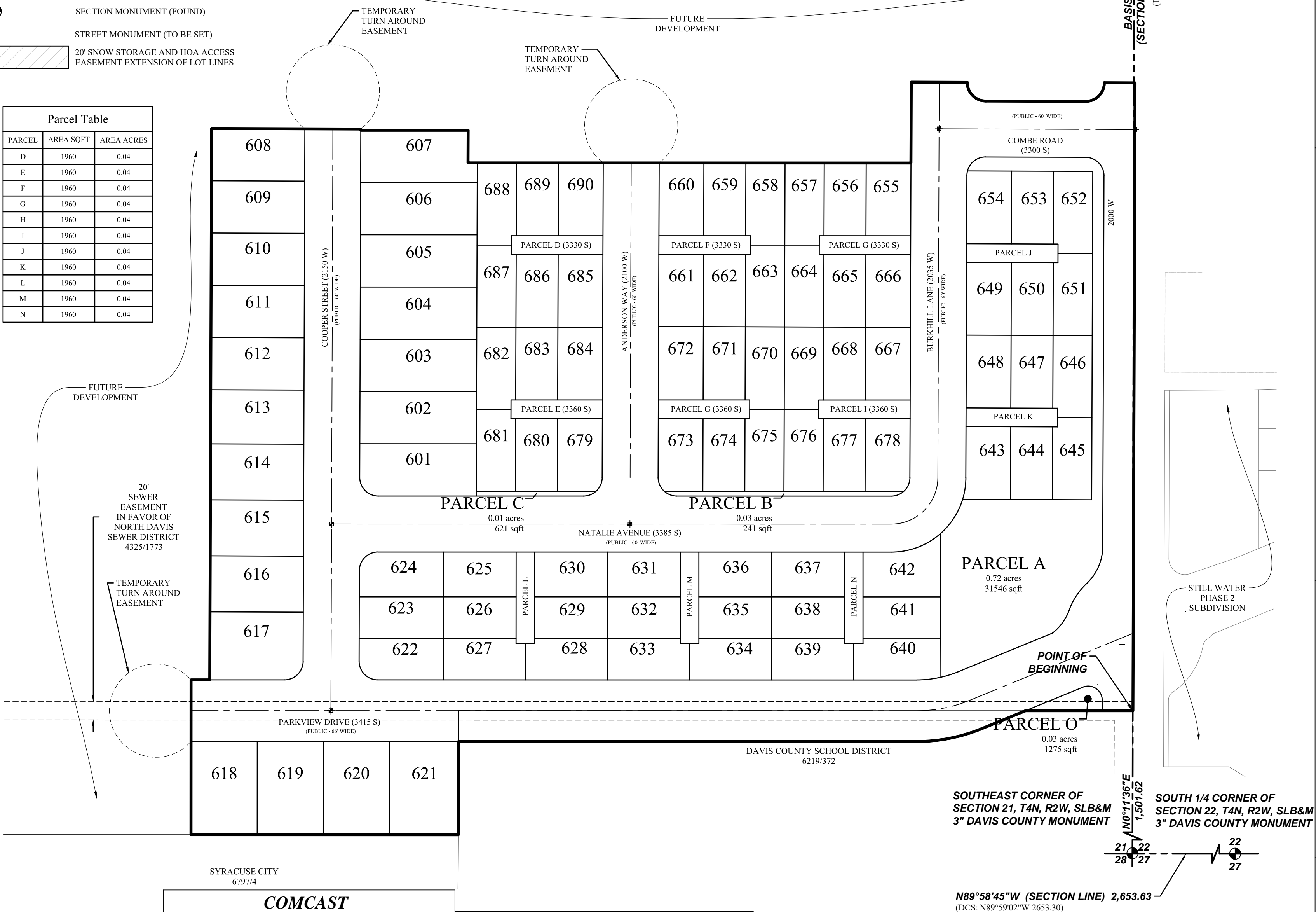
LEGEND



STILL WATER SUBDIVISION

PHASE 6

A PORTION OF THE SW1/4 OF SECTION 21, T4N, R2W, SLB&M
SYRACUSE, DAVIS COUNTY, UTAH
GRAPHIC SCALE



EAST 1/4 CORNER OF
SECTION 21, T4N, R2W, SLB&M
3" DAVIS COUNTY MONUMENT

BASIS OF BEARING: N0°11'36"E
(SECTION LINE) MEASURED: 2,625.67'
(D.C.S. N0°11'36"E 2,625.72')



SURVEYOR'S CERTIFICATE

I, Spencer W. Llewellyn, do hereby certify that I am a Professional Land Surveyor, and that I hold Certificate No. 10516507 in accordance with Title 58, Chapter 22 of Utah State Code. I further certify by authority of the owner(s) that I have completed a Survey of the property described on this Plat in accordance with Section 17-23-17 of said Code, and have subdivided said tract of land into lots, blocks, streets, and easements, and the same has, or will be correctly surveyed, staked and monumented on the ground as shown on this Plat, and that this Plat is true and correct.

Spencer W. Llewellyn
Professional Land Surveyor
Certificate No. 10516507

Date

BOUNDARY DESCRIPTION

A portion of the SE1/4 of Section 21, Township 4 North, Range 2 West, Salt Lake Base and Meridian, Syracuse, Utah, more particularly described as follows:
Beginning at the Northeast corner of that Real Property described in Deed Book 6219 Page 372 of the Official Records of Davis County located N00°11'36"E along the Section line 1,501.62 feet from the Southwest Corner of Section 22, T4N, R2W, SLB&M; thence N89°59'27"W along said deed 115.33 feet; thence S67°42'28"W 50.89 feet; thence along the arc of a curve to the right with a radius of 183.00 feet a distance of 71.23 feet through a central angle of 22°18'05" Chord: S78°51'31"W 70.78 feet; thence N89°59'27"W 491.25 feet; thence S00°11'36"W 100.00 feet to the Northeast corner of that Real Property described in Deed Book 6797 Page 4 of the Official Records of Davis County; thence N89°59'27"W along said deed 286.88 feet; thence N00°00'33"E 166.00 feet; thence S89°59'27"E 20.11 feet; thence N00°11'37"E 590.88 feet; thence S89°48'23"E 160.00 feet; thence S00°11'37"W 1.33 feet; thence S89°59'27"E 115.00 feet; thence S00°11'37"W 35.00 feet; thence S89°59'27"E 475.00 feet; thence N00°11'37"E 86.73 feet; thence S89°48'23"E 240.00 feet to the Section line; thence S00°11'36"W along the section line 673.00 feet to the point of beginning.
Contains: 15.30 acres +/-

OWNER'S DEDICATION

WE, THE UNDERSIGNED OWNERS OF THE HEREON DESCRIBED TRACT OF LAND, HEREBY SET APART AND SUBDIVIDE THE SAME INTO LOTS AND STREETS AS SHOWN ON THIS PLAT, AND NAME SAID TRACT

STILL WATER SUBDIVISION

PHASE 6

AND DO HEREBY DEDICATE, GRANT AND CONVEY TO SYRACUSE CITY, DAVIS COUNTY, UTAH, ALL THOSE PARTS AND PORTIONS OF SAID TRACTS OF LAND DESIGNATED AS STREETS, THE SAME TO BE USED AS PUBLIC THOROUGHFARES FOREVER, ALSO THOSE CERTAIN STRIPS AS EASEMENTS FOR PUBLIC UTILITY AND DRAINAGE PURPOSES AS SHOWN HEREON, THE SAME TO BE USED FOR THE INSTALLATION, MAINTENANCE AND OPERATION OF PUBLIC UTILITY SERVICE LINES AND DRAINAGE AS MAY BE AUTHORIZED BY SYRACUSE CITY. DEDICATE TO THE HOME OWNERS ASSOCIATION (HOA) PARCELS "A, B, C & O" TO BE USED AS COMMON AREA AND PUBLIC UTILITY EASEMENTS; PARCELS "D, E, F, G, H, I, J, K, L, M & N" AS SHARED DRIVEWAYS; PARCEL "O" IS HEREBY DEDICATED TO AND SHALL BE OWNED AND MAINTAINED BY DAVIS COUNTY SCHOOL DISTRICT, ALSO THOSE CERTAIN STRIPS AS EASEMENTS FOR PUBLIC UTILITY AND DRAINAGE PURPOSES AS SHOWN HEREON, THE SAME TO BE USED FOR THE INSTALLATION, MAINTENANCE AND OPERATION OF PUBLIC UTILITY SERVICE LINES AND DRAINAGE AS MAY BE AUTHORIZED BY SYRACUSE CITY. TO WARRANT AND DEFEND AND SAVE THE CITY HARMLESS AGAINST ANY EASEMENTS OR OTHER ENCUMBRANCES ON THE DEDICATED STREETS WHICH WILL INTERFERE WITH THE CITY'S USE, MAINTENANCE AND OPERATION OF THE STREETS.

SIGNED THIS ____ DAY OF ____, 20__

SEE PAGE 2 FOR CORPORATE ACKNOWLEDGMENTS

PHASE INFORMATION

ZONE	TOTAL AREA	PHASE 6 LOTS
RPC	15.30 ACRES	90

RECORDED

STATE OF UTAH, COUNTY OF DAVIS
RECORDED AND FILED AT THE REQUEST OF

DATE ____ TIME ____ BOOK ____ PAGE ____

\$ FEE ____ COUNTY RECORDER ____



ROCKY MOUNTAIN POWER

APPROVED THIS ____ DAY OF ____
20__, ROCKY MOUNTAIN POWER

BY

TITLE

DOMINION ENERGY

APPROVED THIS ____ DAY OF ____
20__, BY DOMINION ENERGY COMPANY

BY

TITLE

CENTURY LINK

APPROVED THIS ____ DAY OF ____
20__, BY CENTURY LINK

BY

TITLE

PLANNING COMMISSION

APPROVED THIS ____ DAY OF ____
20__, BY THE SYRACUSE CITY PLANNING COMMISSION.

CHAIRMAN, PLANNING COMMISSION

CITY ENGINEER

APPROVED AS TO FORM THIS ____ DAY OF ____
A.D., 20__.

SYRACUSE CITY ENGINEER

CITY ATTORNEY

APPROVED AS TO FORM THIS ____ DAY OF ____
A.D., 20__.

SYRACUSE CITY ATTORNEY

DATE: 11/21/18

PAGE 1 OF 2

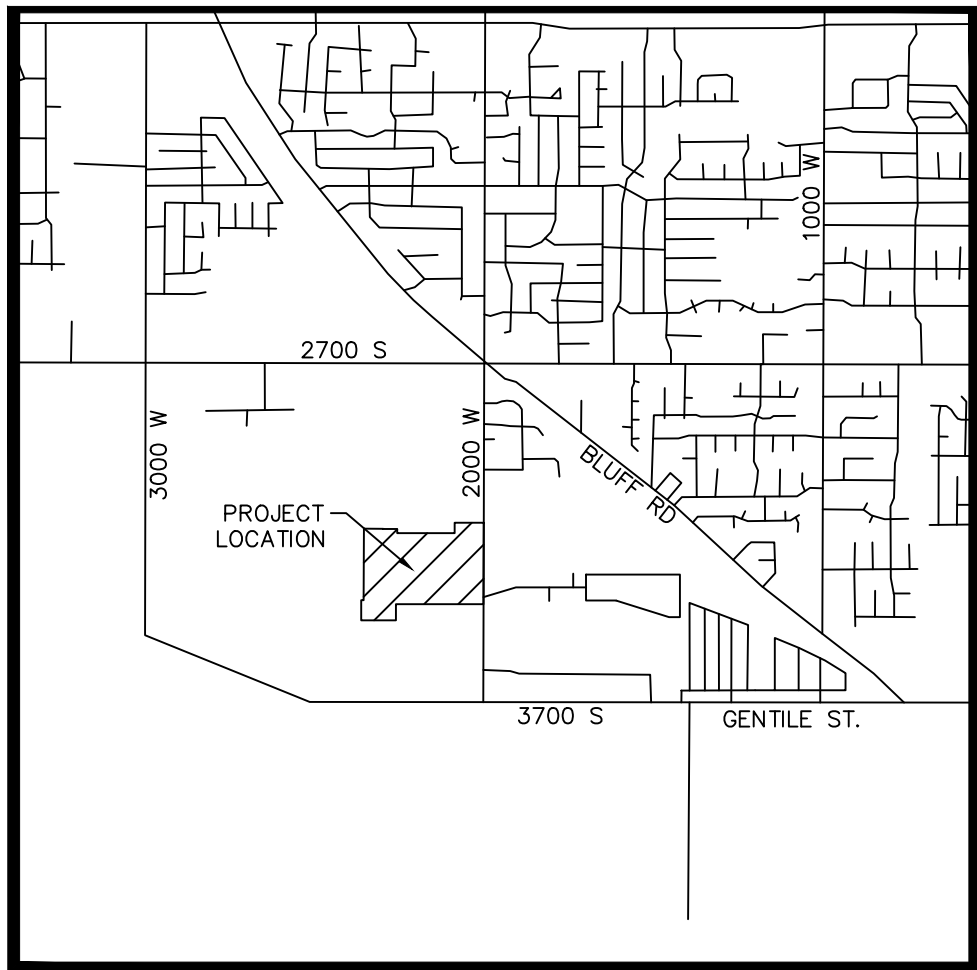
CITY COUNCIL

PRESENTED TO THE SYRACUSE CITY COUNCIL THIS ____ DAY OF ____, AT WHICH TIME THIS SUBDIVISION WAS APPROVED AND ACCEPTED.

MAYOR

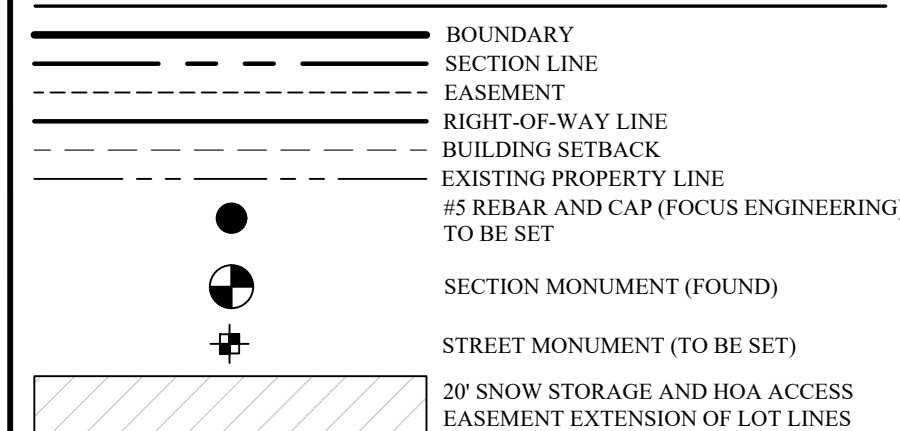
ATTEST

CITY RECORDER



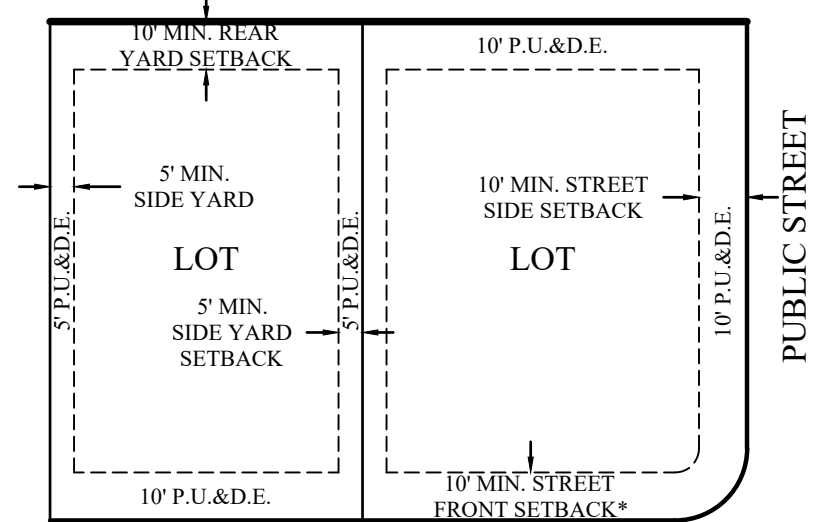
VICINITY MAP
N.T.S.

LEGEND

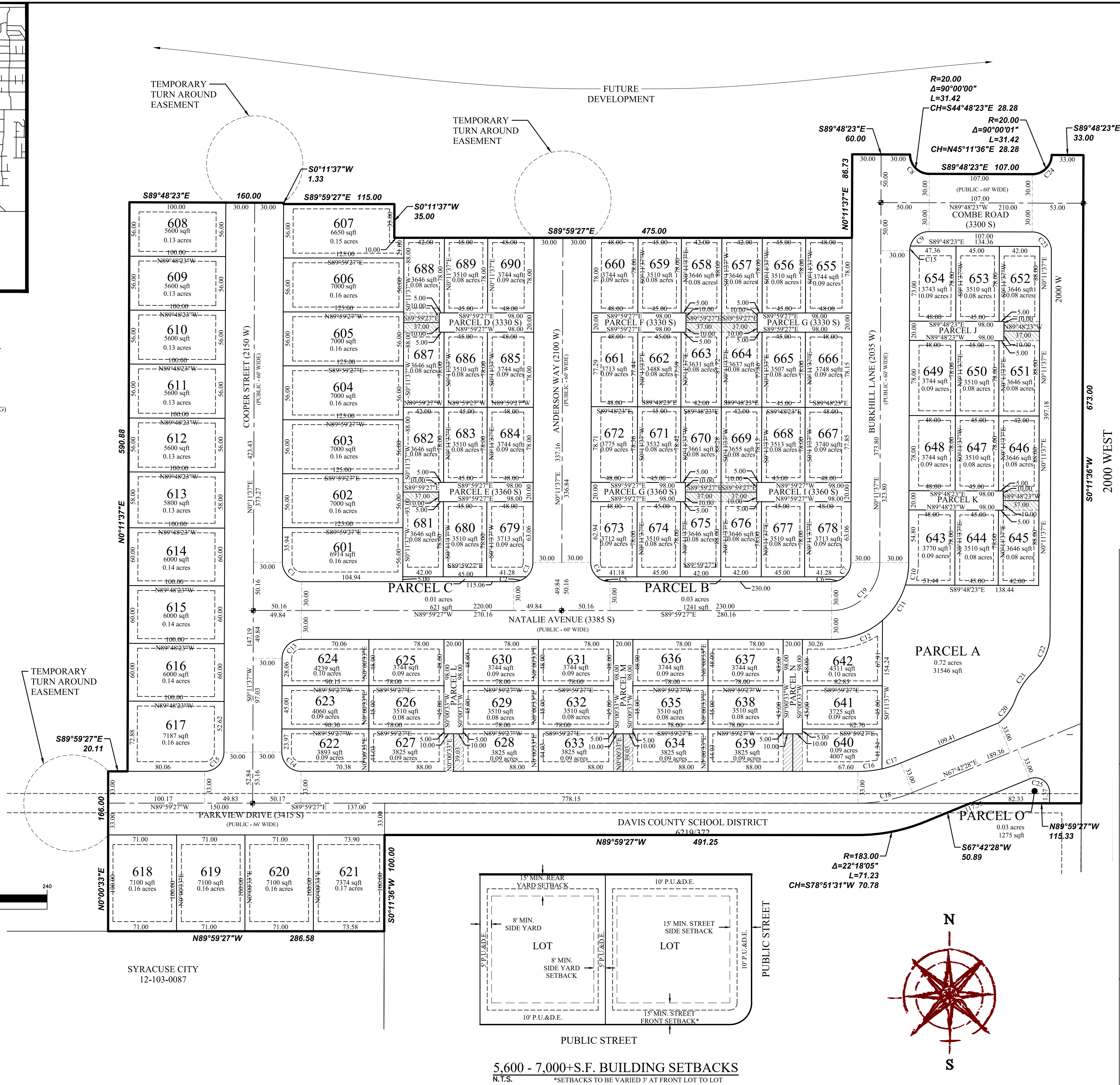
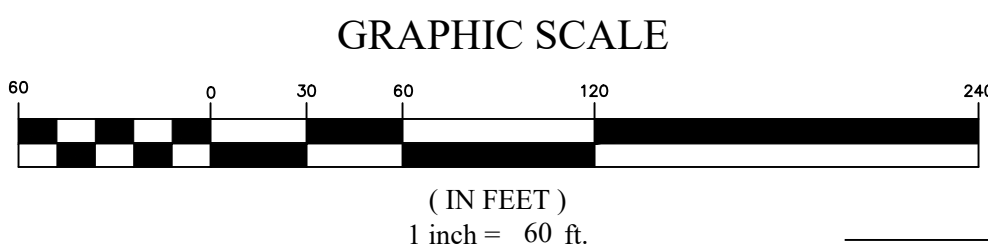


NOTES:

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- 2) PARCELS "A, B & C" ARE DESIGNATED AS COMMON AREA AND ARE HEREBY OWNED AND MAINTAINED BY THE HOA.
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- 4) ALL PRIVATE DRIVEWAYS (PARCELS "D-N") SHALL BE SHARED ACCESS FOR ALL LOTS WHICH FRONT THEM AND WILL BE SOLELY OWNED AND MAINTAINED BY THE HOA.
- 5) HATCHED AREA BEYOND PARCELS "D-N" IS A 20' SNOW STORAGE AND HOA ACCESS EASEMENT EXTENSION OF LOT LINES.
- 6) PARCEL "O" TO BE OWNED AND MAINTAINED BY DAVIS COUNTY SCHOOL DISTRICT.



3,500 - 5,599S.F. BUILDING SETBACKS
N.T.S.
*SETBACKS TO BE VARIED 3' AT FRONT LOT TO LOT



Curve Table				
CURVE	RADIUS	DELTA	LENGTH	CHORD DIRECTION
C1	20.00	90°11'04"	31.48	S44°53'55"E
C2	20.00	41°24'35"	14.45	N69°18'16"E
C3	20.00	48°24'22"	16.90	N24°23'48"E
C4	20.00	48°46'29"	17.03	S24°11'38"E
C5	20.00	41°24'35"	14.45	S69°17'10"E
C6	20.00	41°24'35"	14.45	N69°18'16"E
C7	20.00	48°24'22"	16.90	N24°23'48"E
C8	20.00	90°00'00"	31.42	S44°48'23"E
C9	20.00	75°31'21"	26.36	S52°25'56"W
C10	80.00	16°51'32"	23.54	S08°37'23"W
C11	80.00	31°39'01"	44.19	S32°52'40"W
C12	80.00	41°18'23"	57.67	S69°21'21"W
C13	20.00	89°48'56"	31.35	S45°06'05"W
C14	20.00	90°11'04"	31.48	S44°53'55"E
C15	20.00	14°28'39"	5.05	S07°25'56"W
C16	20.00	89°48'56"	31.35	N45°06'05"E
C17	117.00	12°19'18"	25.16	N83°50'54"E
C18	117.00	9°58'47"	20.38	N72°41'52"E
C19	150.00	22°18'05"	58.38	N78°51'31"E
C20	50.00	89°48'56"	78.38	N45°06'05"E
C21	54.50	32°19'03"	30.74	S35°58'45"W
C22	73.00	27°02'13"	34.45	S33°20'20"W
C23	54.50	46°39'51"	44.39	S23°31'31"W
C24	20.00	89°59'59"	31.42	N44°48'24"E
C25	20.00	90°00'01"	31.42	N45°11'36"E

CORPORATE ACKNOWLEDGMENT

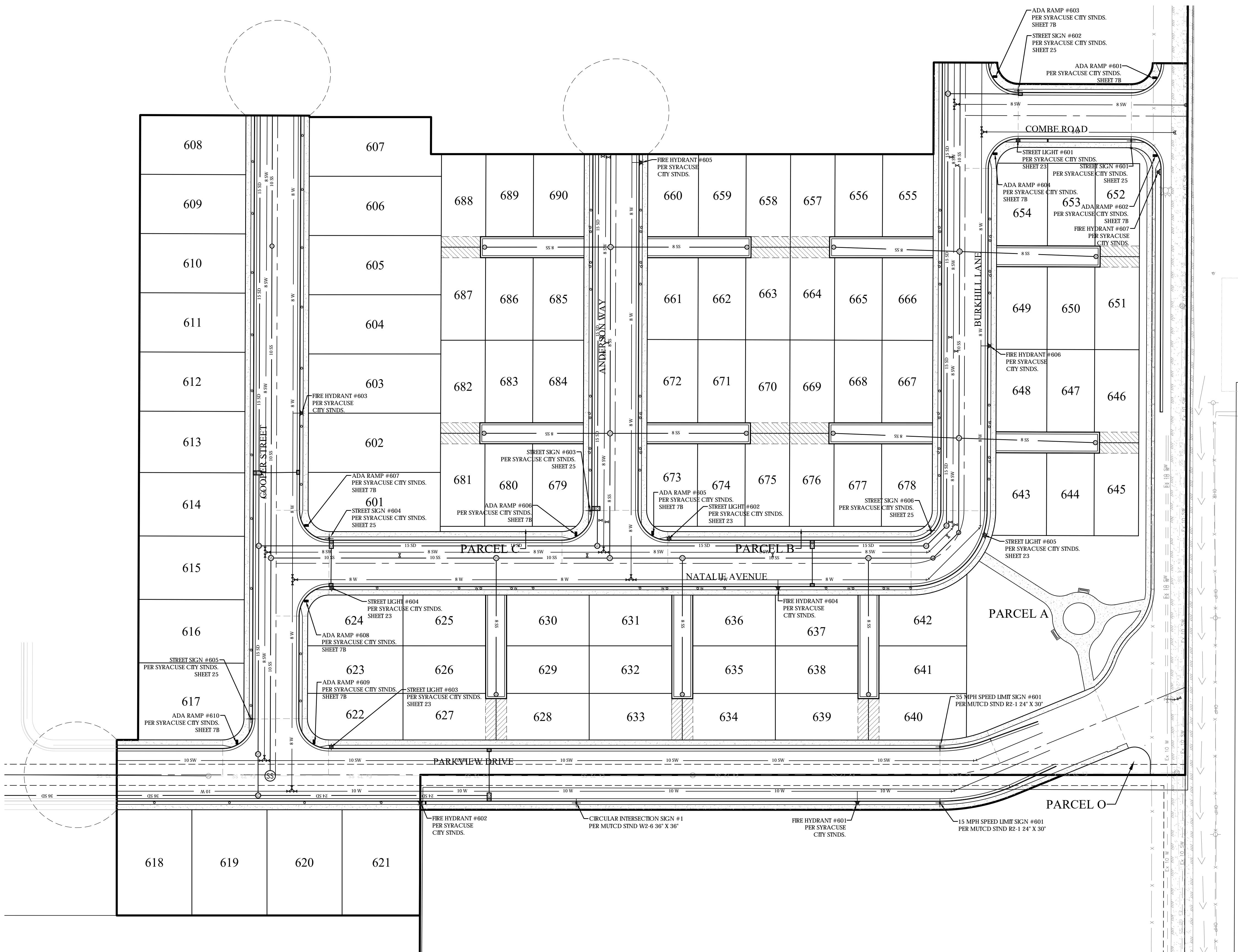
STATE OF UTAH
S.S.
COUNTY OF _____
ON THE _____ DAY OF _____ A.D. 20____ PERSONALLY APPEARED BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, IN AND FOR THE COUNTY OF _____, IN SAID STATE OF UTAH, _____, WHO AFTER BEING DULY SWORN, ACKNOWLEDGED TO ME THAT HE IS THE _____ OF _____ A UTAH INC. AND THAT HE SIGNED THE OWNERS DEDICATION FREELY AND VOLUNTARILY FOR AND IN BEHALF OF SAID COMPANY FOR THE PURPOSES THEREIN MENTIONED.
MY COMMISSION EXPIRES: _____ A NOTARY PUBLIC COMMISSIONED IN UTAH RESIDING IN _____ COUNTY
MY COMMISSION No. _____ PRINTED FULL NAME OF NOTARY

CORPORATE ACKNOWLEDGMENT

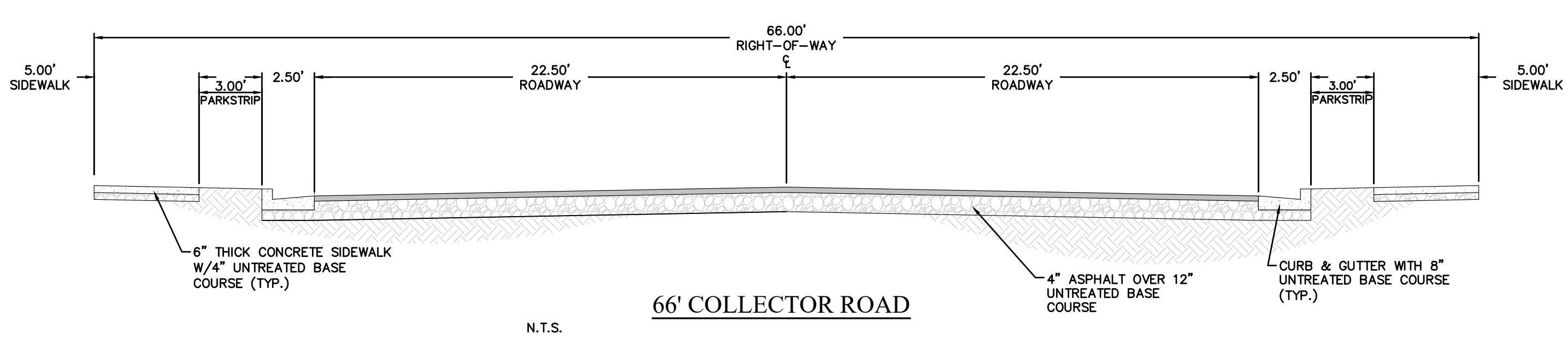
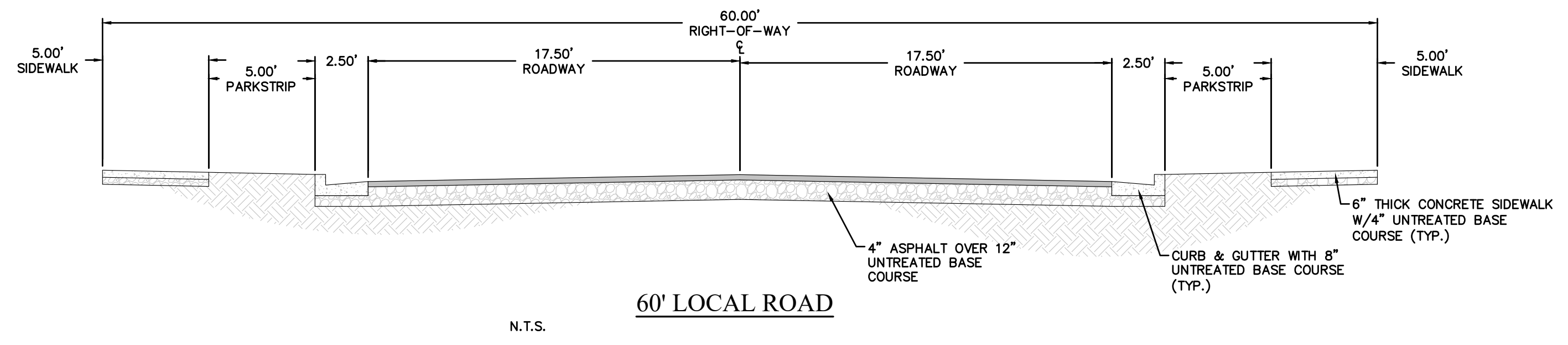
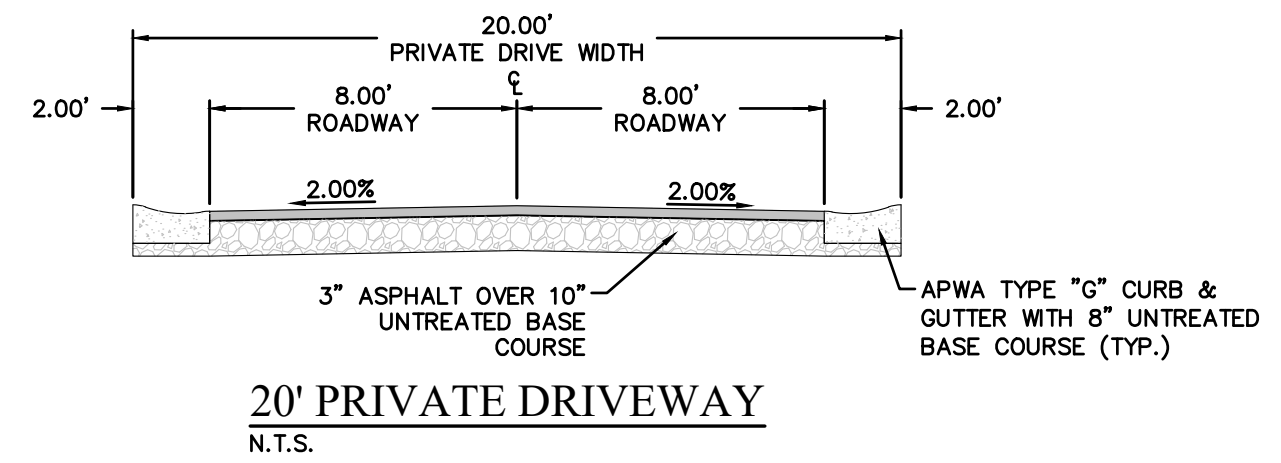
STATE OF UTAH
S.S.
COUNTY OF _____
ON THE _____ DAY OF _____ A.D. 20____ PERSONALLY APPEARED BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, IN AND FOR THE COUNTY OF _____, IN SAID STATE OF UTAH, _____, WHO AFTER BEING DULY SWORN, ACKNOWLEDGED TO ME THAT HE IS THE _____ OF _____ A UTAH INC. AND THAT HE SIGNED THE OWNERS DEDICATION FREELY AND VOLUNTARILY FOR AND IN BEHALF OF SAID COMPANY FOR THE PURPOSES THEREIN MENTIONED.
MY COMMISSION EXPIRES: _____ A NOTARY PUBLIC COMMISSIONED IN UTAH RESIDING IN _____ COUNTY
MY COMMISSION No. _____ PRINTED FULL NAME OF NOTARY

RECORDED #

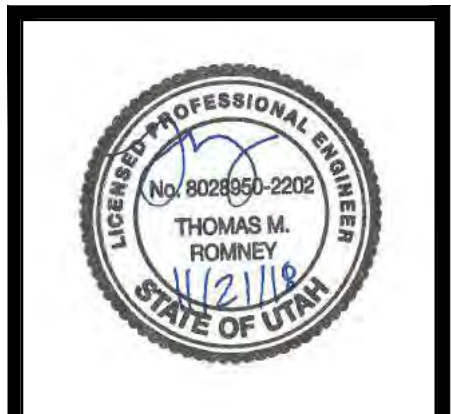
STATE OF UTAH, COUNTY OF DAVIS
RECORDED AND FILED AT THE REQUEST OF _____
DATE _____ TIME _____ BOOK _____ PAGE _____
\$ _____ FEE _____ COUNTY RECORDER _____



- LEGEND**
- BOUNDARY
 - ROW
 - CENTERLINE
 - LOT LINE
 - EASEMENT
 - 15" STORM DRAIN
 - 8" SANITARY SEWER
 - 8" CULINARY WATER
 - 8" SECONDARY WATER
 - CONTOUR MAJOR
 - CONTOUR MINOR
 - EXIST. STORM DRAIN
 - EXIST. SANITARY SEWER
 - EXIST. CULINARY WATER
 - EXIST. FENCE
 - EXIST. CONTOUR MAJOR
 - EXIST. CONTOUR MINOR
 - SIGN
 - STREET LIGHT
 - SD MH, INLET, AND COMBO
 - SEWER MANHOLE
 - VALVE, TEE & BEND
 - WATER BLOW-OFF
 - FIRE HYDRANT
 - STREET MONUMENT (TO BE SET)
 - EXIST. STREET MONUMENT
 - EXIST. SD INLET & MH
 - EXIST. SEWER MH
 - EXIST. VALVE, TEE, & BEND
 - EXIST. FIRE HYDRANT
 - SPOT ELEVATION



FOCUS
ENGINEERING AND SURVEYING, LLC
52 WEST CENTER STREET
MIDVALE, UTAH 84047 PH: (801) 352-0075
www.focusutah.com



STILL WATER PHASE 6

SYRACUSE, DAVIS COUNTY, UTAH

SITE PLAN

REVISION BLOCK	
#	DESCRIPTION
1	
2	
3	
4	
5	
6	

SITE PLAN

Scale: 1"=50'
Date: 11/21/18
Sheet:

Drawn: MW
Job #: 18-102
18-102 Still Water Phase 6 design 18-102.dwg Sheets C3 SITE PLAN.dwg

C3

RPC ZONE ORDINANCE

10.82.010 Purpose.

The purpose of this zone is to maximize the development quality of large tracts of undeveloped land that will afford opportunities for a more cohesive design and well thought out development pattern than may occur with smaller acreage development projects. The intent is to create single-family neighborhoods that: have resilient property values, demonstrate superior architecture, provide a variety of housing styles and designs for young and mature households alike, provide areas for social interaction, are safe and family friendly, and increase the health and wellness of its residents by providing amenities and open spaces that encourage active lifestyles.

10.82.020 Permitted uses.

The following, and no others, are uses permitted by right provided the parcel and/or building meet all other provisions of this title and any other applicable ordinances of Syracuse City:

(A) Accessory uses and buildings (200 square feet or less) (minimum lot size of 3,500 square feet).

(B) Agriculture.

(C) Churches, synagogues, and temples.

(D) Dwellings, single-family.

(E) Educational services.

(F) Household pets.

(G) Minor home occupations.

(H) Public and quasi-public buildings.

(I) Club houses and recreational facilities.

(J) Public parks.

(K) Residential facilities for persons with disabilities. [Ord. 16-27 § 1 (Exh. A).]

10.82.030 Conditional uses.

The following, and no others, may be conditional uses permitted after application and approval as specified in SCC 10.20.080:

(A) Accessory uses and buildings (greater than 200 square feet) (minor) (minimum lot size of 5,600 square feet).

(B) Day care centers (major) (minimum lot size of 5,600 square feet).

(C) Dwellings, accessory (major/minor, see SCC 10.30.020) (minimum lot size of 5,600 square feet).

(D) Temporary commercial uses (see SCC 10.35.050) (minor).

10.82.040 Minimum lot standards.

All lots shall be developed and all structures and uses shall be placed on lots in accordance with the following standards:

(A) In no case shall the total maximum density exceed four units per gross acre.

(B) In general, the smallest lots should be located closest to an arterial or collector road to distribute traffic impacts more efficiently.

(C) All lots shall have frontage along a publicly dedicated street except for interior lots in the SFD-3,500, which may have frontage upon a shared driveway to be maintained by the HOA. Frontage requirements for lots on a shared driveway shall be the same as if fronting on a public street. Dimensions of all shared driveways shall be determined by the fire marshal and shall comply with all current IFC Codes.

(D) Of the total number of lots, a maximum of 47 percent shall be less than SFD-5,600.

(E) A minimum variable setback of three feet from one dwelling to the next on the same side of the street shall be shown on the subdivision plat and building permits shall only be issued in accordance with the approved varied setbacks shown on the plat. The three-foot setback variation for each lot shall be in relation to the lot(s) immediately abutting on the same side of the street and not in relation to the minimum setback. No home shall be placed using the variable setback in a way which encroaches into the minimum setbacks established in the table below.

(F) Garages shall be set behind, or at a minimum on the same plane, as the living space or covered outdoor living space on lots SFD-5,600 and larger.

Lot Standards	SFD- >7,000	SFD-5,600 - 6,999	SFD-3,500 - 5,599
Minimum Lot Area (SF)	7,000	5,600	3,500
Minimum Lot Width (LF)	70	55	42
Minimum Front Yard to Living Space or Open Porch (LF)	15	15	10
Minimum Interior Side Yard (LF)	8	8	5
Minimum Street Side Yard (LF)	15	15	10
Minimum Rear Yard (LF)	15	15	10
Alley Rear Yard Setback to Garage or Living Space (LF)	0	0	0
Maximum Building Height	35	35	35
Off-Street Parking	2	2	2

10.82.050 Off-street parking and loading.

Maximum number of homes in a shared driveway of a SFD-3,500 area shall be six. No parking shall be allowed on shared access driveways. Off-street parking and loading shall be provided as specified in Chapter 10.40 SCC.

10.82.060 Signs.

The signs permitted in this zone shall be those allowed in residential zones by Chapter 10.45 SCC.

10.82.070 Development requirements.

(A) Minimum land requirements for MPC zone: 100 contiguous acres. Noncontiguous land areas below 100 acres in size may be added to the planned community if:

- (1) The noncontiguous land area is proposed in conjunction with a plan submittal containing a land mass of at least 100 contiguous acres;
- (2) The noncontiguous land area is not smaller than 10 acres;
- (3) All land areas within the development are managed by one HOA;
- (4) All land areas share the same development theme;
- (5) The noncontiguous land area is located within a third mile of the larger 100-acre land mass (0.33 mile);
- (6) Be limited to one noncontiguous land area in addition to the larger land mass.

(B) Land Use Master Plan.

(1) A land use master plan shall be submitted congruently with the concept plan application and in addition to the requirements of the concept plan submittal found in SCC 8.20.010. The plan shall include the following:

- (a) Existing property boundaries.
- (b) Proposed lot lines.
- (c) Color coded categories grouped by lot size and/or housing product type.
- (d) Table indicating gross calculations such as number of lots in each housing/lot size category and acreage/percentage of common space.
- (e) Location and size of common spaces.
- (f) Configuration of streets, trails, and sidewalks.

(2) A professional planner shall design the land use master plan.

(C) Traffic Impact Study. Developer shall provide a traffic impact study to be submitted congruently with preliminary plat application.

(D) Architectural Theme Plan.

(1) An architectural theme plan shall be submitted congruently with the preliminary plat application and in addition to the requirements of the preliminary plat submittal found in SCC 8.25.010. The plan shall include the following:

(a) Examples of design themes that can be duplicated throughout the development that will provide unity and sense of place. Examples may include cladding materials, roof styles, light fixtures, colors, textures, or architecture styles such as craftsman, contemporary, colonial, Mediterranean, Cape Cod, etc.

(b) Conceptual Elevations and Floor Plans. All plans must adhere to the architectural requirements detailed in this chapter.

(E) Landscape Theme Plan.

(1) A landscape theme plan shall be submitted congruently with the preliminary plat application and in addition to the requirements of the preliminary plat submittal found in SCC 8.25.010. The plan shall include the following:

(a) Landscape plans for all HOA or common open spaces, streetscapes, and any additional land to be landscaped by the project developer are required. Plans shall specify:

(i) Tree locations;

(ii) Hardscape locations;

(iii) Amenities;

(iv) Sidewalks;

(v) Trails;

(vi) Fencing;

(vii) Entry monument signage design and landscaping.

(F) Architectural Requirements.

(1) The following standards apply to homes within the master planned community zone:

(a) Stucco, masonry, fiber cement siding and/or similar quality construction products shall be used on all exterior walls. No vinyl siding shall be permitted.

(b) A minimum of two elevations shall be drawn for each dwelling unit type. Differences between elevations may include rooflines, use of exterior materials, color schemes, use of porches, window location, size, shape or treatments and similar features that vary the appearance of the elevation.

(c) Where the same dwelling unit type is to be constructed adjacent to or directly across the street, a different elevation shall be used including a different roofline, exterior materials, and color schemes. Rooflines shall be varied at a minimum of

every five homes in a row. This may be accomplished by varying the number of stories, roof type (including shed, gable, hip, Dutch, or dormer roofs), or ridgeline directions to create variation.

(d) Rear or side end facades that are visible to a street, park or trail shall comply with the regulations for new residential construction in SCC 10.30.020.

(e) To assist in adding architectural variety, side facing, detached, or alley-fed garages are encouraged. Garages shall not be the predominant architectural feature of any building.

(f) Outdoor living spaces such as porches, balconies, or patios are required on all dwelling units. Outdoor living spaces must be sized adequately for a minimum of two chairs and be oriented towards the street or shared driveway to encourage social interaction with neighbors. Outdoor living spaces that do not face the street or shared driveway may be included in addition to those required to face these areas.

(1) Outdoor living spaces must be at least 25 square feet, providing for seating and a walking access to the seating.

(2) On lots less than 5,600 square feet, all corner lots and homes that front a public road shall have front doors facing public roads; all remaining homes on lots less than 5,600 square feet shall face a private drive. A body established and maintained through the HOA shall review all exterior structural changes to any building within the development to ensure that these conform with the architectural theme plan that was approved with the subdivision.

(G) Common Space Requirements.

(1) A minimum of 25 percent of the gross project acreage shall be established as common space.

(a) Ownership and maintenance responsibilities of common space shall be specified in a development agreement.

(b) All common spaces shall be accessible to the general public with the exception of clubhouses, pools, or other private amenities as agreed to in the development agreement.

(2) Remnant parcels that are inaccessible, have a boundary shape that will not accommodate an amenity, or are otherwise unusable may not be counted towards the common space calculation.

(3) Yard areas within single-family detached lots that are intended as usable yard space for the individual units shall not be counted toward meeting the minimum common space requirement.

(4) The developer shall provide amenities as agreed upon by the City Council with terms and parameters of development and maintenance established in a development agreement. All private amenities shall be maintained by an HOA. The City shall assume responsibility for the maintenance of all public amenities and facilities.

(5) Landscaping alone does not qualify an area as common space. However, informal landscaped areas for play, relaxation, and meditation are encouraged.

(6) Unless otherwise approved by the Council, and subject to the provisions set forth in this chapter, the underlying fee ownership of all publicly accessible open space land shall remain in single ownership and may be owned and maintained by one of the following entities: homeowners' association, land trust, conservation organization, or governmental entity.

(7) Landscaping within common areas must be completed prior to approval of the next consecutive phase of the subdivision.

(H) Required Amenities.

(1) Amenities such as hard surface trails, benches, sports fields, picnic shelters, clubhouses, pools, basketball courts, tennis courts, community gardens, pickle ball courts, playgrounds, splash pads, or other amenities as approved by the City Council are required in each common space.

(2) Clubhouse plans shall go through site plan review as detailed in SCC 10.20.090 before receiving a building permit.

(3) No dwelling shall be located further than one-quarter mile from an amenity.

(4) Amenity access shall be shown on a circulation plan indicating how automobiles, cyclists, and pedestrians will access amenities.

(5) Storm water detention basins may be considered as common space only if they are designed, landscaped, and include an amenity.

(I) Property Maintenance. A homeowners' association (HOA) is required to ensure that private amenities, landscaping, common spaces, trash removal, building exteriors, and street trees are maintained and/or replaced as needed. The HOA covenants of the community shall be recorded with the county and applied to all phases of development.

(J) Landscaping Requirements.

(1) Yard areas shall be designed to avoid water pooling and steep grade changes between lots.

(2) Streetscapes shall be designed for pedestrian safety and visual interest by using three-foot variable front yard setbacks and inclusion of traffic calming measures.

(3) Tree-lined streets are required.

(a) Street trees shall have a minimum two-inch caliper trunk size measured 12 inches above ground level, at the time of installation.

(b) Best management practice recommendations as published by the International Society of Arboriculture (ISA) shall be followed to improve tree survival.

(c) Street trees damaged or killed must be replaced within one planting season by the HOA.

(d) All required street trees within a subdivision phase shall be planted before the warranty on the subdivision is released. Specific regulations concerning tree planting shall be established in the development agreement.

(e) During winter months when tree planting is not practical, the developer shall place sufficient funds in an escrow account to be released once planting is completed.

(f) Street trees shall be selected in accordance with the approved tree species in SCC 10.30.070.

(g) Street trees shall be spaced per the approved species list per park strip width. The approved species list is found in SCC 10.30.070. In no case shall street trees be planted further than 50 feet apart.

(4) The landscape plan shall account for aesthetics and passive solar landscape design on all private buildings owned and/or maintained by the HOA which are intended for occupancy. Wherever possible, deciduous vegetation including trees and structured climbing plants shall be positioned on the south and west side of buildings to provide shade in the summer and sun in the winter. The proposed height of these trees should be indicated on plans to ensure that their height is adequate to provide passive solar benefits to adjacent structures. The intent of these plantings shall be noted on the plan for clarification. Passive solar landscape design is encouraged for residences, but not required.

(5) Landscape design shall screen utility boxes for phone, power, telecommunication, and other unsightly utilities from view in all directions.

(6) Minimal fencing is required to preserve views, encourage social interaction, and provide for the preservation of open space. Fence height and style shall be sensitive to location and context with the intent to preserve views and provide for public safety through retaining as much visibility of pedestrian access ways and streets as possible. The details of the locations of fencing types shall be established in the development agreement with a map exhibit clearly showing where each fence is to be located. This map shall indicate fence type, height, color, and materials.

(K) Traffic Circulation Requirements.

(1) A hierarchy of local, collector, and arterial streets shall be designed as specified in the transportation master plan or determined by staff review.

(2) Collector streets shall be designed to safely and efficiently move automobile and pedestrian traffic through the neighborhood. The use of 90 degree turns and stop signs on collector streets should be minimized as much as possible.

(3) Collector roads should utilize traffic calming measures such as chicanes, curb “bulb-outs,” street islands, mid-block pedestrian crossings, bicycle lanes, cycle tracks, curbed bioswales, raised planted medians, street trees, decorative crosswalks, traffic circles, or

other measures approved by the City Council. All traffic calming measures shall comply with the International Fire Code.

(4) All local streets should utilize the low volume local cross section from the City engineering standards.

(5) Dedicated pedestrian and cycling facilities designed to provide safe and attractive recreation opportunities are required to be included in each street right-of-way.

(6) All required street lighting shall match the development theme, as approved by the City Council.

(7) All corners of street intersections must be landscaped with decorative landscaping including boulders, shrubs, decorative grasses, mulch, flagstones, decorative ground cover other than sod, or other decorative measures approved by the City Council.

(8) Alleys shall be a maximum of 16 feet in width.

(9) A defined walkway to the front door which extends to the public walkway or public street shall be provided on all SFD-3,500 lots with front doors facing a public street. These walkways are also encouraged but are not required on all other lots. Decorative landscaping shall be included for one and one-half feet on one or both sides of all private walkways leading to front doors.

(L) Block Size.

(1) Blocks shall not exceed 1,320 feet in length.

(2) Hard surface mid-block pedestrian access ways shall be provided to maintain the maximum one-quarter mile distance between amenities and residents.

(a) Mid-block pedestrian access ways shall be bordered on any side not abutting an access by two-foot landscape buffers between the paved accesses and abutting property lines. These landscape buffers shall include a mixture of vegetation, which shall not encroach onto or over the paved access within a height of six feet.

(M) Trails.

(1) All trail locations within the development boundaries shall be improved per the trails master plan and built to City engineering standards.

(2) Trails should connect with other sidewalks and trail facilities whenever possible.

(3) A 10-foot-wide concrete or asphalt trail is encouraged in lieu of sidewalk along arterial roads.

(4) Trailside seating is required at one-half mile intervals along the trail system.

(a) Seating shall be built over a weed barrier or solid surface.

(5) If trails will be dedicated to the City, all trail maintenance and ownership agreements shall be finalized in a development agreement.

(N) Sensitive Areas. Wetland areas identified through studies required in the sensitive overlay zone shall be preserved with a conservation easement.

10.82.080 Land use approval process.

(A) Due to the unique nature of master planned community developments, an alternate approval process is hereby adopted. This process is adopted to ensure that the land use authority has a clear understanding of the nature of the proposed development prior to giving zone approval, and then expediting development after approval is given. It also calls for more detailed plans as the project develops, so that a property owner will have opportunities to receive input from the City Council on the project prior to investing in detailed plans.

(B) Requests for general plan map amendment, pursuant to SCC 10.20.060, shall be accompanied by the documents required for a subdivision concept plan, as provided in Chapter 8.20 SCC, for the entire development. These items shall be considered concurrently, with input provided by the Planning Commission and City Council to the property owner during the approval process. The City Council is the land use authority for this joint application, with the Planning Commission acting in a recommending capacity.

(C) Requests for an amendment to the zoning map, pursuant to SCC 10.20.070, shall be accompanied by the documents required for a preliminary subdivision review, as provided in Chapter 8.25 SCC, for the entire development. The application shall also be accompanied, to the extent Chapter 8.25 SCC does not require it, by:

- (1) Master plan, including lot sizes and densities for each lot;
- (2) Circulation plan;
- (3) Architectural theme plan; and
- (4) Landscaping theme plan.

(D) The preliminary subdivision plat shall be considered concurrently with the zoning map amendment. The City Council is the land use authority for this joint application, with the Planning Commission acting in a recommending capacity. Once approved, the preliminary subdivision plat shall be considered a binding zoning document. The applicant must also execute a development agreement in connection to the zoning map amendment.

(E) Final subdivision approval for each phase of development for a master planned community shall proceed as provided in Chapter 8.30 SCC.

(F) The entirety of the proposed project must be presented and approved in one approval process. After the City Council grants preliminary approval of a development, no additional phases may be added.

(G) RPC zone entitlement is contingent upon the developer following the concurrently approved preliminary subdivision plat and the required development agreement. The development agreement shall run with the land and remain in force for the original developer. All subsequent owners of at least five percent of the land originally proposed to be developed shall be bound to the terms of the original agreement and plat until the conclusion of development. Failure of the developer to comply with the terms of the development agreement or preliminary subdivision

plat may result in the Council reverting zoning back to the designation that existed prior to the zoning map amendment.



Still Water Subdivision Phase 5

Ash Drive & Silver Pine Lane

Engineer Final Plan Review

Completed by Brian Bloemen on November 29, 2018

Plans:

1. Secondary services are needed for parcel A & B.
2. Add a 6" secondary drain into SDMH#503.

If you have any further comments or questions, please feel free to contact me at 801-614-9630.

Sincerely,

Brian Bloemen, P.E.
City Engineer



TO: Community Development, Attention: Royce Davies
FROM: Jo Hamblin, Fire Marshal
RE: Still Water Phase 5

DATE: November 29, 2018

I have reviewed the plans submitted for the above referenced project. Currently the Fire Department does not have any concerns or comments.

These plans have been reviewed for Fire Department requirements only. Other departments must review these plans and will have their requirements. This review by the Fire Department must not be construed as final approval from Syracuse City.



Mayor
Mike Gailey

Final Subdivision Plan Review

City Council
Corinne Bolduc
Andrea Anderson
David Maughan
Jordan Savage
Doug Peterson

City Manager
Brody Bovero

11/1/2018

Dear Applicant,

The Syracuse City Community and Economic Development Department has conducted a review of the Still Water Phase 5 Final Plan for compliance with the city's adopted land use ordinance. All comments have been addressed and the plat appears to meet all the requirements of the City's Land Use Ordinance.

Please contact me with any questions concerning this project.

Regards,

Royce Davies
City Planner
(801) 614-9632
rdavies@syracuseut.com



Still Water Subdivision Phase 6

Parkview Drive & 2000 West Street

Engineer Final Plan Review

Completed by Brian Bloemen on November 29, 2018

Plat:

1. The School District property will need to be dedicated to the City for Parkview Drive & 2000 West Street.
2. The owner's dedication and Note 6 conflict.
3. Dedicate a public utility easement over Parcel O.
4. Update the owner's dedication to reflect this phase.
5. There are two Parcel G's shown.

Plans:

1. North Davis Sewer District shall be contacted for approvals for all connections to their main.
2. All valves shall be gate valves. Butterfly valves are not permitted.
3. Add a street light between Lots 633 and 634.
4. The street signage on Parkview Drive around the round about shall match what was installed with the other 3 legs.
5. Per the development agreement, the existing culinary and secondary waterlines shall be upsized to 10" lines from 3350 South to 3000 South Street with this phase.
6. All inverts in on sewer manholes shall be the same with 0.2' minimum drop through the manhole.

If you have any further comments or questions, please feel free to contact me at 801-614-9630.

Sincerely,

Brian Bloemen, P.E.
City Engineer



TO: Community Development, Attention: Royce Davies
FROM: Jo Hamblin, Fire Marshal
RE: Still Water Phase 6

DATE: November 29, 2018

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Mayor
Mike Gailey

Final Subdivision Plan Review

City Council
Corinne Bolduc
Andrea Anderson
David Maughan
Jordan Savage
Doug Peterson

City Manager
Brody Bovero

11/30/2018

Dear Applicant,

The Syracuse City Community and Economic Development Department has conducted a review of the Still Water Phase 6 Final Plan for compliance with the city's adopted land use ordinance. All comments have been addressed and the plat appears to meet all the requirements of the land use ordinance.

Please contact me with any questions concerning this project.

Regards,

Royce Davies
City Planner
(801) 614-9632
rdavies@syracuseut.com