



ALPINE CITY COUNCIL MEETING

NOTICE is hereby given that the **CITY COUNCIL** of Alpine City, Utah will hold a meeting on **Wednesday, November 9, 2016 at 6:00 p.m.** at Alpine City Hall, 20 North Main, Alpine, Utah as follows:

I. CALL MEETING TO ORDER*

II. EXECUTIVE SESSION: Discuss litigation, property acquisition or the professional character, conduct or competency of personnel.

III. RETURN TO OPEN MEETING

- | | |
|---------------------------------|----------------------|
| A. Roll Call:* | Mayor Sheldon Wimmer |
| B. Prayer: | Lon Lott |
| C. Pledge of Allegiance: | By Invitation |

IV. PUBLIC COMMENT: The public may comment on items that are not on the agenda.

V. CONSENT CALENDAR

- A. Approve minutes of the October 25, 2016 City Council meeting**
- B. Three Falls Phase 1 Water Tank Bond Release - \$173,660.00**
- C. Approve purchase of parks utility vehicle - \$23,898.88**

VI. ACTION/DISCUSSION ITEMS

- A. Ordinance No. 2016-24 -Amendments to the Open Space Ordinance (Section 3.16.4) – Jessica Smuin**
The City Council will review potential amendments to the Open Space ordinance regarding the City's decision-making process for disposing of land included in City parks.
- B. Alpine Cove Annexation Petition – Residents of Alpine Cove**
The City Council consider accepting the petition to begin the annexation process.
- C. Wireless Telecommunication Update (T-Mobile) – Lambert Park Cell Tower Site**
The City Council will review a proposed update to some antennas on the cell tower at Lambert Park.
- D. Wood Acres Estates Minor Subdivision – Corner of Westfield Road and Sunrise Drive - Steve McArthur**
The City Council will review a proposed minor subdivision that will consist of 3 lots on 5.49 acres. The site is located in the CR-40,000 zone.
- E. White Pine Subdivision Final Plat – Corner of Bristol Court and 300 North – Ivory Homes**
The City Council will review a final plat for this subdivision that consists of 9 lots on 5.68 acres. The site is located in the CR-20,000 zone.
- F. Ordinance No. 2016-23 -Amendments to the Home Occupation Ordinance (Section 3.23.7.3)**
The City Council will review potential amendments to the Home Occupation Ordinance.
- G. Test Well Engineering and Construction Management Contract.** The City Council will review the proposed test well engineering and construction management contract and decide if they wish to approve it.
- H. Ft. Canyon Public Information Contract.** The City Council will review the proposed contract with Horrocks Engineering to provide the Ft. Canyon residents with information regarding the Ft. Canyon road project.
- I. Planning Commissioner Appointments.** The City Council will provide review and consent to the Mayor's appointment of people to the Planning Commission.

VII. EXECUTIVE SESSION

VIII. STAFF REPORTS

IX. COUNCIL COMMUNICATION

ADJOURN

*Council Members may participate electronically by phone.

Sheldon Wimmer
November 4, 2016

THE PUBLIC IS INVITED TO PARTICIPATE IN ALL CITY COUNCIL MEETINGS. If you need a special accommodation to participate, please call the City Recorder's Office at (801) 756-6347 x 4.

CERTIFICATE OF POSTING. The undersigned duly appointed recorder does hereby certify that the above agenda notice was on the bulletin board located inside City Hall at 20 North Main and sent by e-mail to The Daily Herald located in Provo, UT, a local newspaper circulated in Alpine, UT. This agenda is also available on our web site at www.alpinecity.org and on the Utah Public Meeting Notices website at www.utah.gov/pmn/index.html

PUBLIC MEETING AND PUBLIC HEARING ETIQUETTE

Please remember all public meetings and public hearings are now recorded.

- All comments **must** be recognized by the Chairperson and addressed through the microphone.
- When speaking to the Planning Commission, please stand, speak slowly and clearly into the microphone, and state your name and address for the recorded record.
- Be respectful to others and refrain from disruptions during the meeting. Please refrain from conversation with others in the audience as the microphones are very sensitive and can pick up whispers in the back of the room.
- Keep comments constructive and not disruptive.
- Avoid verbal approval or dissatisfaction of the ongoing discussion (i.e., booing or applauding).
- Exhibits (photos, petitions, etc.) given to the City become the property of the City.
- Please silence all cellular phones, beepers, pagers or other noise making devices.
- Be considerate of others who wish to speak by limiting your comments to a reasonable length, and avoiding repetition of what has already been said. Individuals may be limited to two minutes and group representatives may be limited to five minutes.
- Refrain from congregating near the doors or in the lobby area outside the council room to talk as it can be very noisy and disruptive. If you must carry on conversation in this area, please be as quiet as possible. (The doors must remain open during a public meeting/hearing.)

Public Hearing v. Public Meeting

If the meeting is a **public hearing**, the public may participate during that time and may present opinions and evidence for the issue for which the hearing is being held. In a public hearing there may be some restrictions on participation such as time limits.

Anyone can observe a **public meeting**, but there is no right to speak or be heard there - the public participates in presenting opinions and evidence at the pleasure of the body conducting the meeting.

ALPINE CITY COUNCIL MEETING
Alpine City Hall, 20 N. Main, Alpine, UT
October 25, 2016

I. CALL MEETING TO ORDER: The meeting was called to order at 6:00 pm by Mayor Sheldon Wimmer. The following were present:

Mayor Sheldon Wimmer
 Council Members: Troy Stout, Ramon Beck, Roger Bennett, Lon Lott, Kimberly Bryant
 Staff: Rich Nelson, Charmayne Warnock, David Church, Shane Sorensen, Jason Bond
 Others: Jared Inouye, Barry Johnson

II. EXECUTIVE SESSION

Motion: Lon Lott moved to go into Executive Session for purpose of discussing strategy on pending litigation. Roger Bennett seconded. Ayes: 4 Nays: 0. Lon Lott, Roger Bennett, Ramon Beck, Troy Stout voted aye. Motion passed. Kimberly Bryant not present at time of the motion.

The Council adjourned to closed session at 6:00 pm.

III. RETURN TO OPEN SESSION

The Council returned to open meeting at 7:15 pm.

A. Roll Call:

Mayor Sheldon Wimmer
 Council Members: Troy Stout, Ramon Beck, Roger Bennett, Kimberly Bryant, Lon Lott
 Staff: Rich Nelson, Charmayne Warnock, David Church, Shane Sorensen, Jason Bond, Chief Brian Gwilliam
 Others: Loraine Lott, Carla Merrill, Mary Wimmer, Chuck DeWitt, Howard Cooper, Kristin Collins, Scott Collins, Kelly Shubin, Clay Shubin, Joel Teemart, Will Jones, Marla Rogers, Erin Tetro

B. Prayer: Troy Stout

C. Pledge of Allegiance: Scott Collins

IV. PUBLIC COMMENT:

Chuck Hewitt said he lived in American Fork and represented the Sons of Utah Pioneers. Every year they took a couple of treks and this year they went to Moyle Park where they had a dinner and were shown the movie "Only a Stone Cutter." He said they were really touched by the event and wanted to make a small donation toward Moyle Park. He thanked the City for maintaining Moyle Park and honoring John Rowe Moyle. He presented a check to the Mayor.

Chief Brian Gwilliam said he wanted to update the Council on a certain activity in the police department. People may notice some of the officers were growing facial hair and he wanted to explain what they were doing since the police department had a policy of no facial hair. He said that as the Chief, he decided to relax the policy on no facial hair for the purpose of raising funds to send a Utah Veteran on an Honor Flight back to Washington DC. Beginning on Halloween and running through February, any officer who wanted to grow facial hair would make a donation of \$20 a month toward the fund. Kimberly Bryant asked if they were going to extend that to the public and allow them to make donations. Chief Gwilliam said they were still deciding what they wanted to do.

V. CONSENT CALENDAR

A. Approve minutes of October 11, 2016

MOTION: Lon Lott moved to approve the minutes of October 11, 2016 as corrected. Ramon Beck seconded.
Ayes: 5 Nays: 0. Lon Lott, Kimberly Bryant, Roger Bennett, Ramon Beck, Troy Stout voted aye. Motion passed.

VI. REPORTS AND PRESENTATIONS: None

VII. ACTION AND DISCUSSION ITEMS

A. High School Mountain Bike Teams and Lambert Park Usage: Sheldon Wimmer said that one of the concerns the Council had was the intense usage of Lambert Park by mountain bike teams from a number of different high schools. Rich Nelson had invited coaches from the various teams to come and talk about solutions and coordinate the usage in the park. Three coaches were present and introduced themselves. They were Joel Teemont who was the coach for the Lone Peak junior team, Clay Shubin was the assistant coach for the Lone Peak team, and Erin Tetro for the American Fork high school team.

Joel Teemont said he taught the younger kids how to ride safely and well. They came from the junior highs and middle schools that fed into Lone Peak High School. He said Lambert Park was great. It was close for kids who didn't drive. He said they looked forward to volunteering time to maintain the park and develop trails.

Troy Stout said that every coach he had talked to indicated they were willing to coordinate their usage of the park with other teams, and willing to pitch in and help with the maintenance. He said Lambert Park had been bearing the brunt of the usage but other communities such as Highland and Pleasant Grove were opening up spaces for mountain biking.

Erin Tetro said that the mountain biking season kicked off in July and the race season began in the fall. By the time July came around, the teams had a good idea of the number of participants so they could create a schedule for the rest of the season. He said that when they started the team several years ago, they had 9 kids. Now they had 90. It added up to a lot of kids using the trails so it was a good idea to know how many participants they would have when they planned a schedule. He said American Fork had three or four venues in their rotation. They couldn't have teams from the different schools showing up on the same day to ride so they had to set up a rotation. They wanted only one team in one location at a time. They set the schedule for the whole season at the beginning of the season.

Troy Stout said he would like to see a "use it or lose it" policy. If one team didn't show up on their assigned day for some reason, another team couldn't take that day. That way, the park would get a day off.

Sheldon Wimmer said that before July, he would like to have the coaches come in and talk with the City Administrator so Alpine City would have some input and be aware of the schedule.

Troy Stout said he would like to have better signage. There were some teams who were less aware of the rules and park etiquette. He asked specifically about signage for the down section of Rodeo. Will Jones said Carla Merrill's son was going to put up the sign.

Clay Shubin said they had adopted a new rule where bikers had to stop for both uphill and downhill traffic. They had an accident earlier that year that they didn't want to repeat. Erin Tetro said they had a lead rider for the group and a follow rider. Joel Teemont said they broke up the team into smaller groups so they didn't have 80 kids on a trail.

Lon Lott asked the coaches where the teams raced in the fall. Erin Tetro said they held races all over the state such as Eagle Mountain, Soldier Hollow, Snow Basin, Powder Mountain, Moab, Vernal. Lambert Park was only used for practicing, not racing.

Councilman Lott asked if there were private clubs who used the park other than school groups. Joel Teemont said that the younger clubs were divided by the schools the kids attended. They were not an official school team.

Kimberly Bryant asked if the City was going to allow only certain groups to use the park. Sheldon Wimmer said they had no restriction at the time. He was planning to suggest that everyone who wanted to use Lambert park should attend the June meeting. After that, it was locked.

Clay Shubin said it took a lot of parental support to transport the kids to practice. He didn't think they would see kids from area too far from Alpine using the park. Troy Stout said he'd seen kids there from Lehi, Pleasant Grove, American Fork, and the new Sky Ridge high school in Lehi.

Erin Tetro said it was a privilege to use Lambert Park. It was close to them. He asked the City to please utilize the coaches. They were more than willing to help with trail work and putting up the signs.

Troy Stout said Lambert Park was a tight space and it was also heavily used by the citizens. Most of them liked to ride early in the day. The high school teams may want to plan time later times to use the park. Erin Tetro said they typically practiced in the evening because kids needed to be transported to the park and most parents worked.

B. Ordinance No. 2016-22, Century Link Franchise Agreement: David Church said the utilities who use streets and public ways were required to have a franchise agreement with the city. In exchange the state legislature allowed the cities to charge a franchise tax. Alpine's agreement with Century Link had expired in 2008 and needed to be renewed. The Agreement governed how the City would work with Century Link when they had to do roadwork.

MOTION: Lon Lott moved to approved Ordinance No. 2016-22 accepting the Century Link Franchise Agreement. Roger Bennett seconded. Ayes: 5 Nays: 0. Lon Lott, Kimberly Bryant, Roger Bennett, Ramon Beck, Troy Stout voted aye. Motion passed.

C. Fort Canyon Communication Approach: Shane Sorensen said he had been thinking about the best way to provide information to the residents concerning road construction in Fort Canyon. When UDOT had big projects, they had a public information specialist. He said Horrocks Engineers had a staff member than handled public information for construction projects. He had met with them earlier than day and discussed the Fort Canyon project. Horrocks said they would put a proposal together and bring it back so the Council could review it. It would include a website dedicated to information about the construction project. There would be a hotline with a person on the other end to field questions about the construction. The specialist would put information on social media and sent out texts and emails. They answered questions and dispelled rumors. There would be a major weekly update, and if something changed, there would be a daily update. One of the benefits was that all the information would be coming from one party. It would free up Alpine City staff to make sure the infrastructure was done satisfactorily. He said the bulk of the work in the canyon would begin in mid-March through next summer. The big thing they were doing this year was replacing the pipe in Fort Canyon. They had no timeframe, as yet, for that construction.

Rich Nelson said he thought it was a good solution to the problem. The developer would pay half the cost of the information specialist, which would be between five to ten thousand dollars. Shane Sorensen said they could pull the cost from different funds since it would affect water, sewer, etc.

Mayor Wimmer said the next meeting was scheduled for November 8th which was Election Day. He suggested they move the meeting to November 9th which would be a Wednesday.

VIII. STAFF REPORTS

Jason Bond said he had met with the developers of Three Falls and the trail committee. They were working with Draper City to move forward with trail improvements in the open space.

Shane Sorensen reported on the following:

- A Right-turn lane on Canyon Crest Road. The funding was usually five years out but because it was a small project and it had been approved, they were going to move it up on the funding. Highland City wanted to wait until school was out before they started on it. Construction would probably begin in June. The financial commitment from the city was about \$13,000.
- The sign at City Hall was installed.

- He suggested they approach the proposed park maintenance building on 300 North the same way they did Creekside Park. In order to involve the public, they could hold a charrette and have citizens write down their ideas. Staff would take the information and develop a proposed site plan and bring it back to the Council. Then they would send out an RFP for architectural services.

Rich Nelson said the Justice Court Agreement between Alpine and Highland was coming up for review. He said they had some influence on how the cost was split, and recommended that they base it on the number of cases that each court handled. It used to be 50/50 then went to 60/40 since Alpine had fewer cases. He suspected it could go even lower.

Regarding his replacement, Rich Nelson said they had about 20 applications. He would pass out the resumes' of the applicants to the Council along with a ranking sheet. The Council would rank the candidates and they would narrow it to five candidates. The Council would interview all five candidate and background checks would be conducted.

Troy Stout asked if it would be appropriate for the Council to reach out to the applicants. Sheldon Wimmer said they should wait.

IX. COUNCIL COMMUNICATION

Lon reported that he had spoken to Robby at the Division of Natural Resources regarding the deer situation in Alpine. He said the DNR had requested funding. He had also spoken with Holly Nash who would create the education website. It would be an independent website with a link to Alpine City's website. He said he had also contacted another part of Natural Resources on projects that took place in Lambert Park who said they would match in-kind contributions so the City needed to keep track of work done in Lambert Park.

Kimberly Bryant said the Youth Council was holding a special dinner honoring the First Responders on November 3rd. She asked if the businesses were having Trick or Treating for Halloween. Rich Nelson said they were; the City had contributed \$500 to the event.

Ramon Beck asked if the food trucks were still coming to Alpine. There had been only one truck that week. Rich Nelson said they were through for the season.

Troy Stout asked what could be done about the skunks. Chief Brian Gwilliam said the Division of Natural Resources handled problems with skunks and other wildlife.

Sheldon Wimmer said residents around Alpine had received door-hangers about paving the road in Lambert Park. He said there was no plan to pave the road, and the City has no budget to do it. He said one of the things the City did have to do was improve section of the gravel road where it met Moyle Drive. According to fire code, the road had to be accessible by emergency vehicles year-round. He said the door-hanger proposed a new alignment for a second access road that came southward through Lambert Park. It crossed private land over which the City had no jurisdiction, and it crossed 13 trails. It couldn't be on forest service land so it wasn't really feasible. He said the Mayor's Message in the November Newsline would address the issue and hopefully clear up the misinformation.

Kimberly Bryant said she had talked to neighbors who said they had heard Council members say the paved road was a done deal.

Troy Stout said he was looking at it as a sequence of events. If the City annexed Lambert Park, they would end up paving the road.

Mayor Wimmer said they had no plans to pave it. They would probably put some kind of sealant on the road to keep the dust down and reduce erosion. Shane Sorensen said magnesium chloride was used in those circumstances and it worked well.

Regarding the composition of the Planning Commission, Mayor Wimmer said he was proposing to change the number of members from seven to five and have a quorum of three. The Planning Commission had canceled three meetings that year due to lack of a quorum and that was not acceptable. It was apparently difficult to get all seven

1 members to the meeting. He suggested that if a Planning Commission member missed more than three meetings,
2 they were off the commission.
3

4 Sheldon Wimmer also reported that representatives of Alpine Cove had come to the City to request annexation.
5 They had enough signatures and were working on meeting other requirements. If the Council wanted to discuss it,
6 they could have it on the agenda for the November 9th meeting.
7

8 Melby was talking about developing in the county and changing their zoning which, if approved, would result in 32
9 lots on the Melby property north of Alpine Cove. If the Melbys did rezone, the only remaining properties that hadn't
10 been rezoned were the Lehi and Fitzgerald properties, and a strip of land on the south end of Lambert park. He
11 suggested the City take a proactive approach so they could manage what was done rather than the county.
12

13 **X. EXECUTIVE SESSION**

14

15 Kimberly Bryant said she would like to hold another executive session to discuss personnel.
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17 **MOTION:** Kimberly Bryant moved to adjourn to closed session to discuss the professional character, conduct or
18 competency of personnel. Troy Stout seconded. Ayes: 5 Nays: 0. Kimberly Bryant, Troy Stout, Ramon Beck, Roger
19 Bennett, Lon Lott voted aye. Motion passed.
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21 The Council adjourned into closed session at 8:30 pm. They returned to open meeting and adjourned at 9:30 pm.
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ALPINE CITY
ESCROW BOND RELEASE FORM
Bond Release No. 2

BOND HOLDER

Thru Period Ending: November 2, 2016

Three Falls Phase 1 Water Tank

Location: Fort Canyon Road

Original Bond

Item	Quantity	Units	Unit Cost	120% Unit Cost	Total Cost
500,000 Gallon Water Tank	1	L.S.	\$ 458,333.33	\$550,000.00	\$550,000.00

TOTAL BOND AMOUNT

\$ 550,000.00

% Completed This Period	% Completed To Date	Total
31.57%	58.93%	\$324,140.00
Amount Released to Date:		\$324,140.00

** At the discretion of the City, up to 80% of the total bond amount may be released as partial payments and 90% of the total will be released at final. The remainder will be held for the two year warranty period.

Previously Released: \$ 150,480.00

This Release: **\$173,660.00**

Requested by Developer:


Will Jones

Date

Approved by Alpine City:

Sheldon Wimmer
Mayor

Date


Shane L. Sorensen, P.E.
City Engineer

11/2/16
Date

City Council
(by Charmayne Warnock - City Recorder)

Date

CONTRACTOR'S APPLICATION FOR PAYMENT

REMIT PAYMENT TO: PROBUILD Construction Inc.

PO Box 391, Bingham Canyon, Utah 84006

P: (801) 295-1300 F: (888) 965-9661

Application No.: 2	Application Period: 10/1/2016 to 10/30/2016	Application Date: 11/1/2016
To: Three Falls Development, Inc	From: ProBuild Construction, Inc.	Via (Engineer): Horrocks & Psomas
Project: Three Falls 500K Tank		
Owner's Contract No.:	Contractor's Project No.: 2016-061 Three Falls 500K Tank	Engineer's Project No.:

ITEM NO.	DESCRIPTION	BID QUANTITY	UNITS	QUANTITY COMPLETED TO DATE	UNIT PRICE	TOTAL COMPLETED
1	MOBILIZATION	1	LS	100	\$ 15,000.00	\$ 15,000.00
2	500,000 Gallon Concrete Tank	1	LS	70	\$ 457,000.00	\$ 319,900.00
3	Valve Vault	1	LS		\$ 36,000.00	\$
4	500,000 Gallon Tank Piping	1	LS	15	\$ 42,000.00	\$ 6,300.00

Original Contract:	\$ 550,000.00
Net Approved Change Orders:	-
Adjusted Contract:	\$ 550,000.00

Value of Work Completed to Date:	\$ 341,200.00
Materials Stored at Close of Period:	-
Net Amount Earned to Date:	\$ 341,200.00
Less 5% Retained:	17,060.00
Subtotal:	\$ 324,140.00
Less Previous Payments:	150,480.00
Amount Due This Payments:	\$ 173,660.00

REQUESTED BY: CONTRACTOR

BY: _____

DATE: _____

RECOMMENDED BY: Horrocks & Psomas

BY: David Allen (Horrocks Eng)

DATE: 11/1/16

APPROVED BY: OWNER

BY: _____

DATE: _____

Contractor's Certification:

The undersigned Contractor certifies that to the best of its knowledge: (1) all previous progress payments received from Owner on account of Work done under the Contract have been applied on account to discharge Contractor's legitimate obligations incurred in connection with Work covered by prior Applications for Payment; (2) title of all Work, materials and equipment incorporated in said Work or otherwise listed in or covered by this Application for Payment will pass to Owner at time of payment free and clear of all Liens, security interests and encumbrances (except such as are covered by a Bond acceptable to Owner indemnifying Owner against any such Liens, security interest or encumbrances); and (3) all Work covered by this Application for Payment is in accordance with the Contract Documents and is not defective.



ALL PURCHASE ORDERS MUST BE MADE OUT TO (VENDOR):

Deere & Company
2000 John Deere Run
Cary, NC 27513
FED ID: 36-2382580; DUNS#: 60-7690989

ALL PURCHASE ORDERS MUST BE SENT TO DELIVERING DEALER:

Stotz Equipment
14750 South Pony Express Rd
Bluffdale, UT 84065
801-966-4231
xx9969@stotzeq.com

Quote Summary

Prepared For:

Alpine City Corporation
20 N Main St
Alpine, UT 84004
Business: 801-420-3102

Delivering Dealer:

Stotz Equipment
Phillip Miller
14750 South Pony Express Rd
Bluffdale, UT 84065
Phone: 801-966-4231
Mobile: 801-850-2166
phillmiller@stotzeq.com

Quote ID: 14123648
Created On: 30 September 2016
Last Modified On: 27 October 2016
Expiration Date: 31 October 2016

Equipment Summary	Selling Price	Qty	Extended
JOHN DEERE 825I MY16 SPECIAL EDITION Stock Unit Contract: UT Grounds Maintenance Equip MA2184 (PG 3A) Price Effective Date: October 27, 2016	\$ 19,841.08 X	1 =	\$ 19,841.08
Heavy Duty POWERtach Blade - 72 In. Contract: UT Grounds Maintenance Equip MA2184 (PG 3A) Price Effective Date: September 30, 2016	\$ 4,057.80 X	1 =	\$ 4,057.80
Equipment Total			\$ 23,898.88

* Includes Fees and Non-contract items

Quote Summary

Equipment Total	\$ 23,898.88
Trade In	
SubTotal	\$ 23,898.88
Total	\$ 23,898.88
Down Payment	(0.00)
Rental Applied	(0.00)
Balance Due	\$ 23,898.88

Salesperson : X _____

Accepted By : X _____

Confidential



Selling Equipment

Quote Id: 14123648 Customer Name: ALPINE CITY CORPORATION

ALL PURCHASE ORDERS MUST BE MADE OUT TO (VENDOR):

Deere & Company
2000 John Deere Run
Cary, NC 27513
FED ID: 36-2382580; DUNS#: 60-7690989

ALL PURCHASE ORDERS MUST BE SENT TO DELIVERING DEALER:

Stotz Equipment
14750 South Pony Express Rd
Bluffdale, UT 84065
801-966-4231
xx9969@stotzeq.com

JOHN DEERE 825I MY16 SPECIAL EDITION Stock Unit

Hours:

Stock Number:

Contract: UT Grounds Maintenance Equip MA2184 (PG 3A)

Selling Price *

Price Effective Date: October 27, 2016

\$ 19,841.08

* Price per item - includes Fees and Non-contract items

Code	Description	Qty	List Price	Discount%	Discount Amount	Contract Price	Extended Contract Price
5116M	XUV 825i Power Steering Green and Yellow (MY16 Special Edition) Availability Limited to Dealer Inventory	1	\$ 16,799.00	20.60	\$ 3,460.59	\$ 13,338.41	\$ 13,338.41
Standard Options - Per Unit							
001A	US/Canada	1	\$ 0.00	20.60	\$ 0.00	\$ 0.00	\$ 0.00
1008	Yellow Alloy Wheels Maxxis Bighorn Radial Tires	1	\$ 0.00	20.60	\$ 0.00	\$ 0.00	\$ 0.00
2006	Bench Seat - Yellow	1	\$ 0.00	20.60	\$ 0.00	\$ 0.00	\$ 0.00
2500	Green and Yellow	1	\$ 0.00	20.60	\$ 0.00	\$ 0.00	\$ 0.00
4000	OPS with nets	1	\$ 0.00	20.60	\$ 0.00	\$ 0.00	\$ 0.00
4030	Roof	1	\$ 0.00	20.60	\$ 0.00	\$ 0.00	\$ 0.00
4051	Power and Front Protection Package Package Consists of: Power Lift, Heavy Duty Front Brushguard, Heavy Duty Front Fender Guard, Floor Mats	1	\$ 0.00	20.60	\$ 0.00	\$ 0.00	\$ 0.00
4199	Less Rear Protection Package	1	\$ 0.00	20.60	\$ 0.00	\$ 0.00	\$ 0.00
6309	Less Front Hood Rack XUV	1	\$ 0.00	20.60	\$ 0.00	\$ 0.00	\$ 0.00
6314	Deluxe Cargo Box with Polyurea Liner, Integrated RH and LH Cargo Box Tool Boxes, Brake and Tail Lights, Tailgate, Horn, and Roof Mounted LED Lights	1	\$ 0.00	20.60	\$ 0.00	\$ 0.00	\$ 0.00
Standard Options Total			\$ 0.00		\$ 0.00	\$ 0.00	\$ 0.00

Selling Equipment

Quote Id: 14123648 **Customer Name:** ALPINE CITY CORPORATION

ALL PURCHASE ORDERS MUST BE MADE OUT TO (VENDOR):

Deere & Company
2000 John Deere Run
Cary, NC 27513
FED ID: 36-2382580; DUNS#: 60-7690989

ALL PURCHASE ORDERS MUST BE SENT TO DELIVERING DEALER:

Stotz Equipment
14750 South Pony Express Rd
Bluffdale, UT 84065
801-966-4231
xx9969@stotzeq.com

Dealer Attachments/Non-Contract/Open Market							
BM23608	Cab Heater	1	\$ 1,148.11	20.60	\$ 236.51	\$ 911.60	\$ 911.60
BM25593	Cab Heater Fitting Kit	1	\$ 43.87	20.60	\$ 9.04	\$ 34.83	\$ 34.83
BM23498	Deluxe Cab Frame	1	\$ 1,464.83	20.60	\$ 301.75	\$ 1,163.08	\$ 1,163.08
BM25445	Deluxe Door Closeoff Panel	1	\$ 308.16	20.60	\$ 63.48	\$ 244.68	\$ 244.68
BM26111	Deluxe Poly Door	1	\$ 2,891.14	20.60	\$ 595.57	\$ 2,295.57	\$ 2,295.57
VGB10505	Electrical Kit	1	\$ 99.51	20.60	\$ 20.50	\$ 79.01	\$ 79.01
BM23507	Glass Windshield with Wiper - Deluxe Cab	1	\$ 927.69	20.60	\$ 191.10	\$ 736.59	\$ 736.59
BM23750	Noise Reduction Kit (Gas and Diesel)	1	\$ 395.90	20.60	\$ 81.56	\$ 314.34	\$ 314.34
BM24561	OPS Rear Panel	1	\$ 520.01	20.60	\$ 107.12	\$ 412.89	\$ 412.89
BM23755	Seat Belt Kit	1	\$ 153.01	20.60	\$ 31.52	\$ 121.49	\$ 121.49
BM24587	Deluxe Signal Light Kit	1	\$ 177.61	20.60	\$ 36.59	\$ 141.02	\$ 141.02
BM24998	OSR Half Door Color Panel (Green)	1	\$ 59.91	20.60	\$ 12.34	\$ 47.57	\$ 47.57
Dealer Attachments Total			\$ 8,189.75		\$ 1,687.09	\$ 6,502.67	\$ 6,502.67
Suggested Price							\$ 19,841.08
Total Selling Price			\$ 24,988.75		\$ 5,147.68	\$ 19,841.07	\$ 19,841.08

Heavy Duty POWERtach Blade - 72 In.

Equipment Notes:

Hours:

Stock Number:

Selling Price *

Contract: UT Grounds Maintenance Equip MA2184 (PG 3A)

\$ 4,057.80

Price Effective Date: September 30, 2016

* Price per item - includes Fees and Non-contract items

Code	Description	Qty	List Price	Discount%	Discount Amount	Contract Price	Extended Contract Price
LP6504 6	Heavy Duty POWERtach Blade - 72 In.	1	\$ 3,999.00	0.00	\$ 0.00	\$ 3,999.00	\$ 3,999.00
Dealer Attachments/Non-Contract/Open Market							
LPPK120	Marker - POWERTACH MARKERS	1	\$ 58.80	0.00	\$ 0.00	\$ 58.80	\$ 58.80
Dealer Attachments Total			\$ 58.80		\$ 0.00	\$ 58.80	\$ 58.80



JOHN DEERE

Selling Equipment

Quote Id: 14123648

Customer Name: ALPINE CITY CORPORATION

**ALL PURCHASE ORDERS MUST BE MADE OUT
TO (VENDOR):**

Deere & Company
2000 John Deere Run
Cary, NC 27513
FED ID: 36-2382580; DUNS#: 60-7690989

**ALL PURCHASE ORDERS MUST BE SENT
TO DELIVERING DEALER:**

Stotz Equipment
14750 South Pony Express Rd
Bluffdale, UT 84065
801-966-4231
xx9969@stotzeq.com

Suggested Price				\$ 4,057.80
Total Selling Price	\$ 4,057.80	\$ 0.00	\$ 4,057.80	\$ 4,057.80



ALPINE CITY COUNCIL AGENDA

SUBJECT: Ordinance No. 2016-24
Proposed Open Space Ordinance Amendment (Section 3.16.4.2)

FOR CONSIDERATION ON: 8 November 2016

PETITIONER: Jessica Smuin

ACTION REQUESTED BY PETITIONER: Review Proposed Amendments

APPLICABLE STATUTE OR ORDINANCE: Section 3.1.9 (Amendments)

BACKGROUND INFORMATION:

Jessica Smuin is a resident of Alpine City and is proposing some amendments to the Open Space ordinance. The requirements for amending an ordinance is attached.

3.16.4 SPECIAL PROVISIONS

3.16.4.2 " Land included in these parks, along with Lambert Park, shall not be changed, improved, altered, easements granted or disposed of in any manner or used for any other purpose then specified herein. Changes include but not limited to removal or alteration of existing trails, creation of or improvement to roads (paved or non-paved), creation or improvement to access points or any other changes to park's present and essential and defining characteristics except after a recommendation of the Planning Commission and a public hearing and by a super majority vote of the City Council (4 positive votes out of five city council members are required)."

PLANNING COMMISSION RECOMMENDATION:

MOTION: Bryce Higbee moved to recommend changes to the proposed Open Space Ordinance (Section 3.16.4.2) with the following language:

Land included in these parks shall not be materially changed, improved, altered, disposed of in any manner or used for any other purpose except after a recommendation of the Planning Commission following a public hearing and by a super majority vote of the City Council (4 positive votes out of 5 City Council members are required). A material change shall include, but is not limited to, a change to the park's present and essential defining characteristics, creation of or improvement of roadways or parking lots within the park.

Jason Thelin seconded the motion. The motion passed with 4 Ayes and 2 Nays. Bryce Higbee, Jason Thelin, Jane Griener and Carla Merrill voted Aye. Steve Cosper and David Fotheringham voted Nay.

3.1.9.1 Amendments to the Zoning Ordinance

Amendments to the Zoning Ordinance may be initiated by the City Council, the Planning Commission, the staff, or by an owner of real property in the area included in the proposed amendment.

Amendments to the Zoning Ordinance:

1. Shall first be submitted to the Planning Commission for its review and recommendation.
2. The Planning Commission shall provide appropriate notice and hold a public hearing on proposed amendments to the zoning ordinance before making a recommendation to the City Council. The Planning Commission may hold additional public hearings if deemed necessary or appropriate by the Planning Commission.
3. The Planning Commission shall prepare and make a recommendation to the City Council on proposed amendments to the zoning ordinance that represents the Planning Commission's recommendation for regulating the use and development of land within all or any part of the area of the City.
4. The City Council shall consider each proposed amendment to the zoning ordinance recommended by the Planning Commission. The City Council shall have the option to hold a public hearing(s).
5. The City Council may adopt or reject amendments to the zoning ordinance either as proposed by the Planning Commission or after making any revisions the City Council considers appropriate.

Charmayne Warnock

From: jessica smuin <jessicasmuin@yahoo.com>
Sent: Tuesday, October 04, 2016 2:48 PM
To: Jason Bond
Subject: Fw: Ordinance Amendment 3.16.4 for Planning Commission Agenda Oct. 18

Hi Jason, Here is the amended ordinance I talked to you about a few weeks ago. I sent it to the mayor and the City Attorney yesterday and have not heard back from them. You told me today was the deadline to submit so that it could be put on the Planning Commission agenda for October 18th. Additions to the ordinance are shown in red.

Let me know if you need anything else.

Regards,
Jessica Smuin

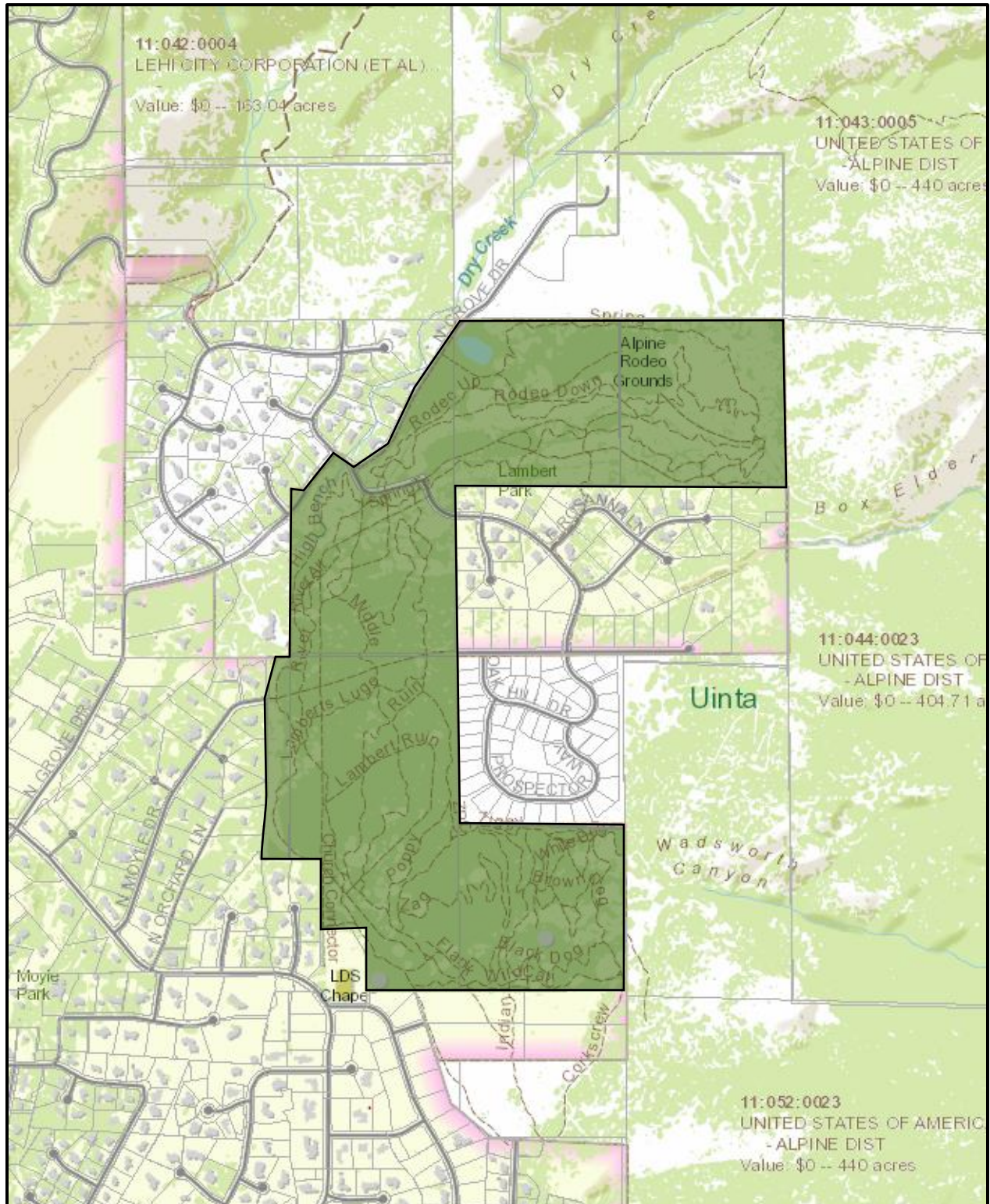
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3.16.4.2 " Land included in these parks, along with Lambert Park, shall not be changed, improved, altered, easements granted or disposed of in any manner or used for any other purpose then specified herein. Changes include but not limited to removal or alteration of existing trails, creation of or improvement to roads (paved or non-paved), creation or improvement to access points or any other changes to park's present and essential and defining characteristics except after a recommendation of the Planning Commission and a public hearing and by a super majority vote of the City Council (4 positive votes out of five city council members are required)."

3.16.4.2

LAMBERT PARK BOUNDARIES

(For Reference Purposes Only)



LAMBERT PARK BOUNDARIES

(For Reference Purposes Only)



ORDINANCE NO. 2016-24

**AN ORDINANCE ADOPTING AMENDMENTS TO THE OPEN SPACE ORDINANCE
IN RELATION TO A DECISION-MAKING PROCESS FOR MATERIALLY CHANGING
A PARK**

WHEREAS, The City Council of Alpine, Utah has deemed it in the best interest of Alpine City the decision-making process that involves materially changing a park; and

WHEREAS, the Alpine City Planning Commission has reviewed the proposed amendment to the Development Code, held a public hearing, and has forwarded a recommendation to the City Council; and

WHEREAS, the Alpine City Council has reviewed the proposed amendment to all zones:

NOW, THEREFORE, BE IT ORDAINED BY THE ALPINE CITY COUNCIL THAT:

The amendments to section 3.16.4 will supersede section 3.16.4 as previously adopted.

This Ordinance shall take effect upon posting.

Passed and dated this 8th day of November 2016.

Sheldon Wimmer, Mayor

ATTEST:

Charmayne G. Warnock, Recorder

3.16.4 SPECIAL PROVISIONS

3.16.4.2 Land included in these parks shall not be materially changed, improved, altered, disposed of in any manner or used for any other purpose except after a recommendation of the Planning Commission following a public hearing and by a super majority vote of the City Council (4 positive votes out of 5 City Council members are required). A material change shall include, but is not limited to, a change to the park's present and essential defining characteristics, creation of or improvement of roadways or parking lots within the park.

ALPINE CITY COUNCIL AGENDA

SUBJECT: Alpine Cove Annexation Petition

FOR CONSIDERATION ON: November 9, 2016

PETITIONER: Alpine Cove residents

ACTION REQUESTED BY PETITIONER: Consider accepting the annexation petition to begin the process.

APPLICABLE STATUTE OR ORDINANCE: State Code

BACKGROUND INFORMATION: Residents of Alpine Cove have signed a petition requesting annexation into Alpine City. It consists of 62 lots. Attached is a copy of the annexation petition and plat.

Recommendation:

Consider a motion to accept or deny the Alpine Cove annexation petition to begin the process.



Annexation Application

20 North Main Alpine, UT 84004 • 801-756-6347 (Phone) • 801-756-1189 (Fax) • www.alpinecity.org

Contact Information

Applicant / Sponsor Property owners in Alpine Cove Date September 2, 2016
Address Alpine Cove City Alpine State UT Zip 84004
Phone _____ Fax _____ Email _____

Project Information

Annexation Name Alpine Cove Sub Division Current Use Residential
Project Address _____ Proposed Zoning No Change
Annexation Size (in acres) 62 lots Inside Policy Declaration Boundaries? Yes

Source of Water Rights

Irrigation Stock _____ # of Shares _____ Company _____
Other Water Rights _____ # of Shares _____ Company _____
Other Acceptable Contribution Utah County will retain Alpine Cove Water special Service District

Owners of Petitions

1. Name Property owners Signature Various Date _____
2. Name _____ Signature _____ Date _____
3. Name _____ Signature _____ Date _____
4. Name _____ Signature _____ Date _____
5. Name _____ Signature _____ Date _____

Annexation Petition Requirements

Total Annexation Property (in acres) 76.21 Total Annexation Property (in acres) _____
Percentage of Annexation Area Signers _____ Percentage of Assessed Value of Signers _____
Assessed Value of all Real Property _____ Assessed Value of Signatory Properties _____

FOR CITY USE ONLY

Annexation Fee Date Fee Paid / Payment Type _____ Receipt # _____
(Application Fee \$350 + Plat Review Fee \$150 + Actual Cost of Annexation Study)

Petition of Annexation of Property To Alpine City

We the following property owners, by our signature affixed below, do hereby express our desire for, or against, the annexation of our property to Alpine City; and by virtue of a signature in favor of annexation, do hereby petition Alpine City to annex the property into the City.

See Exhibit "A"


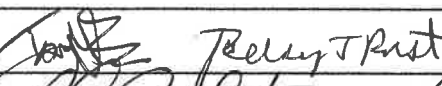
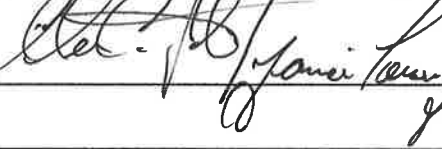
Tax Serial #	Name of Owner of Record	Assessed Value	Number of Acres	Signature of Owners	In Favor	Against
PLAT A, ALPINE COVE SUB						
34:070:0001	JOHNSON, RYAN & CATHERINE	\$ 340,600	1.85			
34:070:0002	ANDERSON, DANIEL J & RAYMIE	\$ 798,900	1.07			
34:070:0003	GREGORY, STUART & AMY	\$ 570,200	1.17	<i>[Signature]</i>	✓	
34:070:0004	REDFORD, JEFFREY & KIM	\$ 748,700	1.04			
34:070:0005	RUST, TAYLOR F & KELSEY J	\$ 665,300	1.03			
34:070:0006	JOHNSON, ALEXANDER C & JANICE LOUISE	\$ 771,600	1.25			
34:070:0007	ZIPPI, GREGORY A & PATRICIA R	\$ 890,300	1.11			
34:070:0008	SMITH, TODD	\$ 1,162,800	0.97			
34:070:0009	WOOLSEY, KARL PERRY JR & MERCEDES H	\$ 1,374,100	1.03			
34:070:0010	SAMUELIAN, MICHAEL R & LUANN	\$ 1,260,900	1.06	<i>[Signature]</i>	✓	
34:070:0011	TASSAINER PROPERTIES LLC	\$ 407,200	1.12			
34:070:0012	HOWELL, MARK D & CHRISTINE I	\$ 1,226,500	1.03			
34:070:0013	MONGILLO, MARK A & DARIA A R	\$ 759,900	1.12			
34:070:0014	ADAMS, FRANK N	\$ 653,300	0.95			
34:070:0015	CRESSLER, CHRISTOPHER M	\$ 615,500	1.14			
34:070:0016	WAKEHOUSE, STEVEN P & GINGER RENEE	\$ 685,800	1.02	<i>[Signature]</i>		
34:070:0017	JAMIESON, CRAIG B & LAURIE J	\$ 755,300	1.02	<i>[Signature]</i>	✓	
34:070:0018	HOWELL, MARK D & CHRISTINE	\$ 403,600	1.06			
34:070:0019	WAREHAM, CHRISTOPHER J & DELIN	\$ 949,500	1.09			
34:070:0020	ARGYLE, BRUCE REED & DIANE FLYGARE	\$ 754,400	1.02			
34:070:0021	DICKENS, HEINZ & DEBRA W	\$ 671,600	1.02			
34:070:0022	SNARR, GRANT & SHELLEY R	\$ 843,600	1.02			

Sheet number _____ of a total of _____ sheets

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PLAT B, ALPINE COVE AMENDED SUB					✓	
34:116:0001	STARLEY, HELEN	\$ 532,300	1	<i>Helen Starley</i>	✓	
34:116:0002	FOLLETT, DANIEL L	\$ 403,600	1.06			
34:116:0003	WAKIMOTO, ANTHONY T & DIANA L	\$ 663,000	1.05			
34:116:0004	MCHALE, CAROL LYNN	\$ 794,500	1.38			
34:116:0005	CALL, LYNN S & JANEAL J	\$ 406,000	1.1			
34:116:0006	ANTRIM, ROBERT F & POLK, MONICA SUE	\$ 762,000	1.04			
34:116:0007	WILKINSON, RONALD D & VANIA	\$ 1,100,700	1.15			
34:116:0008	REDFORD, JEFFREY & KIM	\$ 404,200	1.07			
34:116:0009	MILLER, RICHARD KIM & LESLIE	\$ 708,000	1			
34:116:0010	BENSON, A GAELE	\$ 872,000	1			
34:116:0011	KM8 HOLDINGS LLC	\$ 400,000	1	<i>[Signature]</i>	✓	
34:116:0012	KM8 HOLDINGS LLC	\$ 419,800	1.33		✓	
34:116:0013	SMITH, JEFFERY LYNN & JACKIE LYNN	\$ 784,500	1.44			
34:116:0016	GRAY, JAMES E and ANN STORY	\$ 322,700	1.09	<i>James E Gray Ann Story Gray</i>	✓	
34:116:0018	RICHARD THOMSEN HOMESTEAD FAMILY	\$ 794,700	1.35			
34:116:0019	WILLIAMS, WADE R and LEANNE	\$ 1,051,100	1			
34:116:0020	SCHWARZ, WALT & DEBBIE	\$ 1,662,000	1.34			
34:116:0022	MADSON, PAMELA	\$ 751,600	1.18			
34:116:0023	MOUNT FRANKLIN HOLDING COMPANY LLC	\$ 896,000	1.06			
34:116:0024	FOREMAN, CRISTEL B SANFORD	\$ 925,400	1			
34:116:0026	GRAY, ANN STORY and JAMES E	\$ 777,900	2.55	<i>James E Gray Ann Story Gray</i>	✓	
34:116:0027	RIDD YOUNG, KRISTI and YOUNG, DAVID J	\$ 561,500	1.21			
34:116:0028	FREEMAN, TOM	\$ 741,200	1.07			

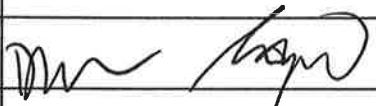

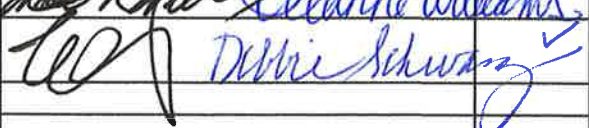
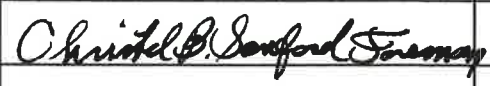
Sheet number _____ of a total of _____ sheets

Page 3 of 4

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34:116:0009	MILLER, RICHARD KIM & LESLIE	\$ 708,000	1			
34:116:0010	BENSON, A GAEL	\$ 872,000	1			
34:116:0011	KM8 HOLDINGS LLC	\$ 400,000	1			
34:116:0012	KM8 HOLDINGS LLC	\$ 419,800	1.33			
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34:116:0027	RIDD YOUNG, KRISTI and YOUNG, DAVID J	\$ 561,500	1.21			
34:116:0028	FREEMAN, TOM	\$ 741,200	1.07			

Sheet number _____ of a total of _____ sheets

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34:116:0003	WAKIMOTO, ANTHONY T & DIANA L	\$ 663,000	1.05			
34:116:0004	MCHALE, CAROL LYNN	\$ 794,500	1.38			
34:116:0005	CALL, LYNN S & JANEAL J	\$ 406,000	1.1	<i>[Signature: Lynn S Call]</i>	✓	
34:116:0006	ANTRIM, ROBERT F & POLK, MONICA SUE	\$ 762,000	1.04			
34:116:0007	WILKINSON, RONALD D & VANIA	\$ 1,100,700	1.15			
34:116:0008	REDFORD, JEFFREY & KIM	\$ 404,200	1.07			
34:116:0009	MILLER, RICHARD KIM & LESLIE	\$ 708,000	1			
34:116:0010	BENSON, A GAEL	\$ 872,000	1			
34:116:0011	KM8 HOLDINGS LLC	\$ 400,000	1			
34:116:0012	KM8 HOLDINGS LLC	\$ 419,800	1.33			
34:116:0013	SMITH, JEFFERY LYNN & JACKIE LYNN	\$ 784,500	1.44			
34:116:0016	GRAY, JAMES E and ANN STORY	\$ 322,700	1.09			
34:116:0018	RICHARD THOMSEN HOMESTEAD FAMILY	\$ 794,700	1.35			
34:116:0019	WILLIAMS, WADE R and LEANNE	\$ 1,051,100	1			
34:116:0020	SCHWARZ, WALT & DEBBIE	\$ 1,662,000	1.34			
34:116:0022	MADSON, PAMELA	\$ 751,600	1.18			
34:116:0023	MOUNT FRANKLIN HOLDING COMPANY LLC	\$ 896,000	1.06			
34:116:0024	FOREMAN, CHRISTEL B SANFORD	\$ 925,400	1			
34:116:0026	GRAY, ANN STORY and JAMES E	\$ 777,900	2.55			
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34:116:0018	RICHARD THOMSEN HOMESTEAD FAMILY	\$ 794,700	1.35	<i>Richard W. Thomsen, G.P.</i>	X	
34:116:0019	WILLIAMS, WADE R and LEANNE	\$ 1,051,100	1			
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10/6/16

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34:117:0001	SKIDMORE, CRAIG J & SHARLENE K	\$ 738,600	1	<i>Craig Skidmore</i> <i>Sharlene Skidmore</i>	✓	
34:117:0002	CASSIS LAND COMPANY JAMES, DONALD & SAND	\$ 889,400	1.01	<i>V.P.</i>	✓	
34:117:0003	WALTON, JOHN A & JERI F	\$ 1,131,900	1.01			
34:117:0004	GEURTS, MICHAEL D & SHARON J	\$ 407,200	1.12	<i>Michael D. Geurts</i> <i>Sharon J. Geurts</i>	✓	
34:117:0005	GEURTS, MICHAEL D & SHARON J	\$ 421,000	1.35	<i>Michael D. Geurts</i> <i>Sharon J. Geurts</i>	✓	
34:117:0006	ROBERTSON, MICHAEL W & DEBORAH PAUL	\$ 822,900	1.09			
34:117:0008	ABBOTT, THOMAS E & DIANNE	\$ 601,300	1			
34:117:0009	WARNER, O RAY & BETTY L	\$ 750,300	1.05			
34:117:0010	REDFORD, JEFFREY & KIM	\$ 551,300	1.11	<i>Jeffrey Redford</i> <i>Kim Redford</i>	✗	
34:117:0012	EMPEY, C DREW & KAREN B	\$ 764,200	1.19			
34:117:0013	ANDERSON, ECQUADEE LYNN & CHRISTOPHER DEE	\$ 1,384,700	1.25			
34:117:0014	SAXTON, JARED & TAMM	\$ 696,000	1.1			
34:117:0015	TASSAINER PROPERTIES LC	\$ 690,300	1.05			
34:117:0016	NORMAN, DANIEL C & TAMRA I	\$ 952,000	1.16			
34:117:0017	MICKELSEN, RICHARD W & TARA L	\$ 1,262,100	1.07			
PLAT D, ALPINE COVE SUBDIVISION						
34:124:0001	LU, JAU-FANG	\$ 1,949,600	3.72			
PLAT F, ALPINE COVE SUBDV						
34:291:0001	HAM, JOHN E & NAN B	\$ 1,554,700	1.48			

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34:117:0014	SAXTON, JARED & TAMM	\$ 696,000	1.1	<i>Jared Saxton</i>	X	
34:117:0015	TASSAINE PROPERTIES LC	\$ 690,300	1.05	<i>By Tassaine Properties</i>	X	
34:117:0016	NORMAN, DANIEL C & TAMRA I	\$ 952,000	1.16	<i>hitchey m...</i>	X	
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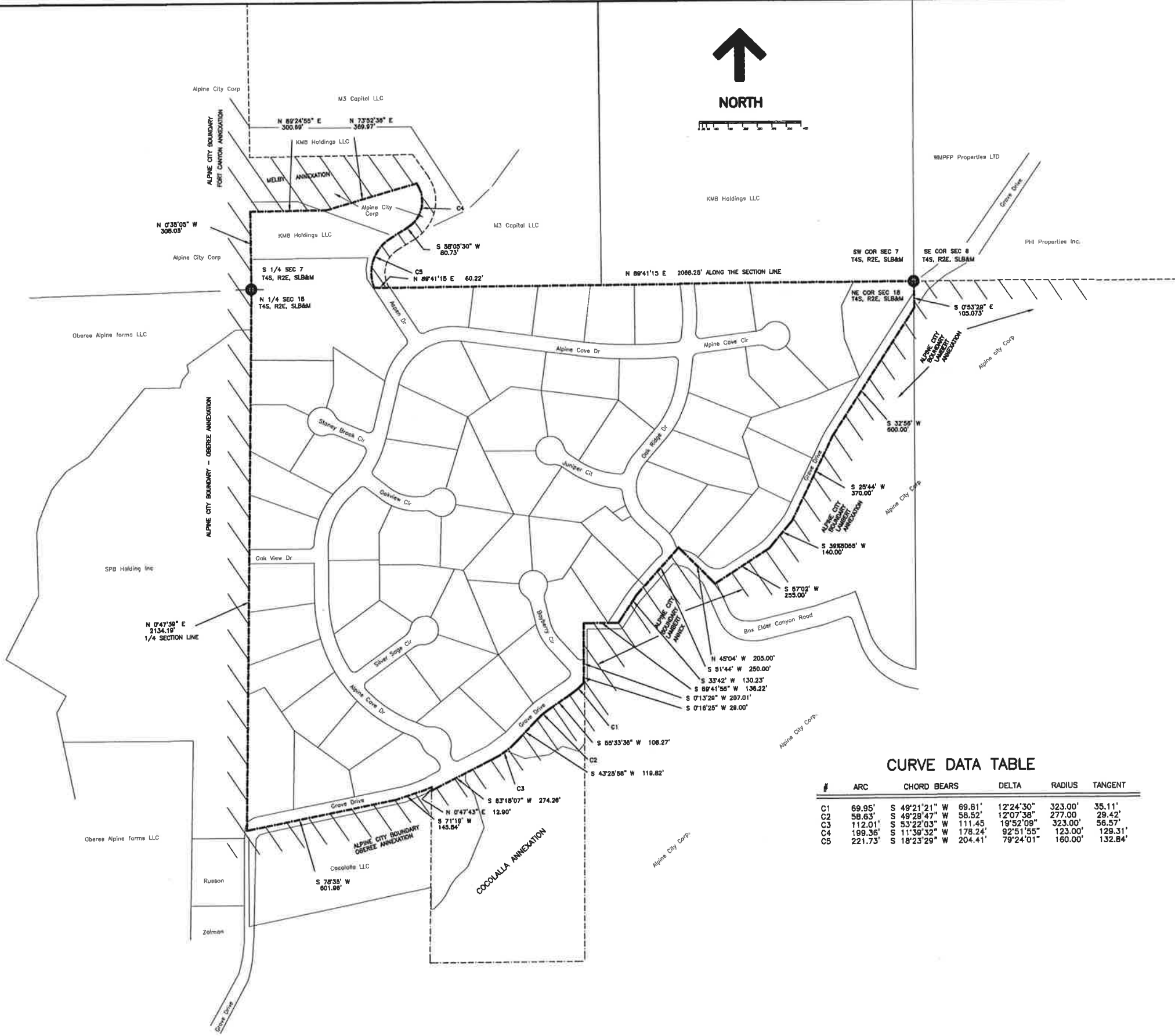
Sheet number _____ of a total of _____ sheets

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Exhibit "A"

Condition Requested for Annexation by Alpine Cove Subdivision:

1. Alpine City ("City") will not require Alpine Cove ("Cove") to add street lighting, sidewalk, curb and gutter.
2. City will allow the Alpine Cove Water Special Service District ("SSD") to cross connect to the City water system so it could be used in the event of an emergency.
3. Cove will retain the SSD until the outstanding bonds are retired in approximately five years, at which time City will be willing to enter into negotiations with the Cove regarding the use of City culinary and pressurized irrigation water.
4. City will continue to coordinate with Utah County for the improvement of the existing roads in the Cove.
5. In the event of future development surrounding the Cove, City will consider traffic flow and safety for pedestrians.
6. Utilities will be provided to Cove residents at the same cost and service, as the rest of City, except the culinary water rates will be at the Box Elder rate.



CURVE DATA TABLE

#	ARC	CHORD BEARS	DELTA	RADIUS	TANGENT
C1	69.95'	S 49°21'21" W 69.81'	12°24'30"	323.00'	35.11'
C2	58.63'	S 49°29'47" W 58.52'	12°07'38"	277.00'	29.42'
C3	112.01'	S 53°22'03" W 111.45'	19°52'09"	323.00'	56.57'
C4	189.38'	S 11°39'32" W 178.24'	92°51'55"	123.00'	129.31'
C5	221.73'	S 18°23'29" W 204.41'	79°24'01"	160.00'	132.84'

Surveyor's Certificate

I hereby certify that this a true and accurate map of a tract of land to be annexed to ALPINE City, Utah County, Utah

Boundary Description

Commencing at the Northeast Corner of Section 18, Township 4 South, Range 2 East, Salt Lake Base and Meridian; thence along the Lambert Annexation as follows: S 0°53'29" W 105.073', S 32°56' E 600.00', S 25°44' W 370.00', S 39°55' W 140.00', S 57°02' W 255.00', N 45°04' W 205.00', S 41°44' W 250.00', S 33°42' W 130.23', S 89°41'55" W 136.22', S 0°13'29" W 207.01', S 0°16'25" W 29.00' to the Cocolalla Annexation; thence thence along the Cocolalla and Oberree Annexations as follows: along the arc of a 323.00' radius curve to the right 69.95' (chord bears S 49°21'21" W 69.81'), S 55°33'36" W 106.27', along the arc of a 277.00' radius curve to the left 58.63' (chord bears S 49°29'47" W 58.52'), S 43°25'58" W 119.28', along the arc of a 323.00' radius curve to the right 112.01' (chord bears S 53°22'03" W 111.45'), S 63°18'07" W 274.26', N 0°47'43" E 12.90', S 71°19' W 145.84', S 78°35' W 601.96', N 0°47'39" E 2134.19' to the North 1/4 Corner of said Section 18; thence N 0°35'05" W 308.05' along the Fort Canyon (Borchards) Annexation; thence along the Melby Annexation as follows: N 89°24'55" E 300.69', N 73°52'38" E 369.97', along the arc of a 123.00' radius curve to the right 199.36' (chord bears S 11°39'32" W 178.24', central angle is 92°51'55"), S 58°05'30" W 80.73', along the arc of a 160.00' radius curve to the right 221.72' (chord bears S 18°23'34" W 204.40', central angle is 79°23'51"), N 89°41'12" E 60.22'; thence N 89°41'15" E 2066.25' along the section to the point of beginning

Area = 90.2579 acres

Basis of Bearing is NAD 27

Engineer/ Surveyor Signature

Date

Seal

Review Approval by Utah County Surveyor

This plat has been reviewed by the County Surveyor and is hereby certified as a final local entity plat, pursuant to Utah Code Ann. 17-23-20 as amended

Utah County Surveyor Signature

Date

Seal

Acceptance By Legislative Body

This is the certify that we, The City Council, have recieved a petition signed by a majority of the owners of the tract shown hereon requesting that said tract be annexed the City of Alpine and that a copy of the ordinance has been prepared for filing herewith all in accordance with the Utah Code Annotated (1935) 10-3-1 as revised and that we have examined and do hereby approve and accept the annexation of the tract as shown as a part of said city and that said tract of land is to be known hereafter as the Alpine Cove Annexation.

Dated this _____ Day of _____ 201____

Mayor

Recorder

Attest:

Seal

ANNEXATION PLAT

Alpine Cove

Utah County, Utah

Scale 1" = 200'

ALPINE CITY COUNCIL AGENDA

SUBJECT: T-Mobile Cell Tower Modification (Lambert Park)

FOR CONSIDERATION ON: 8 November 2016

PETITIONER: T-Mobile (Mike Slotemaker)

ACTION REQUESTED BY PETITIONER: Approve the Update of Antennas

**APPLICABLE STATUTE OR ORDINANCE: Article 3.27
(Wireless Telecommunications)**

PETITION IN COMPLIANCE WITH ORDINANCE: Yes

BACKGROUND INFORMATION:

A wireless telecommunication tower sits at the south end of Lambert Park. There are three levels of the tower with T-mobile being on the top level. See the submitted documents from T-mobile regarding the proposed replacement of existing antennas.

Section 3.27.3.1 of the Development Code says:

State or local government may not deny, and shall approve, any eligible facilities request for a modification of an existing wireless tower or base station that does not substantially change the physical dimensions of such tower or base station. For purposes of this subsection, the term “eligible facilities request” means any request for modification of an existing wireless tower or base station that involves:

- (A) collocation of new transmission equipment;*
- (B) removal of transmission equipment; or*
- (C) replacement of transmission equipment.*

PLANNING COMMISSION RECOMMENDATION:

MOTION: Jason Thelin moved to recommend approval of the proposed T-Mobile Cell Tower Modification in Lambert Park with the following condition:

1. Paint the new equipment with the same color as the existing equipment.

Jane Griener seconded the motion. The motion passed with 6 Ayes and 0 Nays. Bryce Higbee, JasonThelin, David Fotheringham, Steve Cosper, Jane Griener, and Carl Merrill all voted Aye



2030 Main Street, Ste 1300
Irvine, CA 92614
(206) 214-8954

RECEIVED OCT 03 2016

September 29th, 2016

Jason Bond
City Planner, Alpine City
20 N. Main St
Alpine, UT 84004

**RE: CUP Application Packet for Antenna Modification to Existing Site
T-Mobile Site: SL01621D – Alpine Water Tank**

Dear Mr. Bond:

I am pleased to submit for Alpine City's review and consideration our application materials for the proposed modification to T-Mobile's existing wireless communication facility at Lambert Park. The application materials included in this package include the following:

- Site Plan Checklist
- Check #1877 in the amount of \$250 for the application fee
- Written Responses per Alpine City Development Code 3.27.3(1)e
- Notification Letter information as requested in Alpine City Development Code 3.27.3(1)c
- A copy of T-Mobile's FCC License for the frequencies being added with this modification
- A propagation map showing the current and proposed coverage for the L700 frequency being added by this modification
- A list of parcel numbers, addresses, and owners for all property owners within 500' of subject parcel
- Addressed and stamped envelopes for all property owners within 500' of subject parcel
- 10 sets of 11"x17" plans

The only item requested under the Site Plan Application checklist that has not been discussed or included is the AutoCAD version of the plans. If that item is still required, please notify me and I can email a set to the appropriate party.

If you have any questions, please contact me by email at mike.slotemaker@cortel-llc.com or by phone at 206-214-8954.

Best regards,

Mike Slotemaker
Cortel Inc. for T-Mobile

Alpine City

T-Mobile Site SL01621D, Water Tank Rd, Lambert Park, Alpine City, UT

Written Response to Alpine City Development Code 3.27.3(1)e

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e. Written Information: The following written information shall be submitted:

1. Maintenance. A description of the anticipated maintenance needs for the facility, including frequency of service, personnel needs, equipment needs, and traffic noise or safety impacts of such maintenance.

Response: The proposed modifications will not result in any increase in frequency, personnel, equipment needs, or traffic and safety impacts than the site has had since its initial installation. Currently the site is visited about one to two times per month, for an hour or so, by a technician to do a general site and equipment inspection.

2. Service Area. A description of the service area of the antenna or tower and a statement as to whether the antenna or tower is needed for coverage or capacity.

Response: The current site provides coverage to the greater Alpine City area extending about ½ mile past the city's southern and western limits and closely follows the city's northern and eastern limits. A coverage map has been included to show the coverage area for the proposed L700 frequency. This is a capacity driven modification. T-Mobile's proposed modifications are to add radios and antennas that can transmit and receive their recently acquired 700 MHz Block A spectrum which will increase data capacity for the area.

3. Licenses and Permits. Copies of all licenses and permits required by other agencies and governments with jurisdiction over the design, construction, location and operation of the antenna.

Response: A copy of the FCC issued license for the new spectrum is included with the submittal package.

4. Radio Frequency Emissions. A written commitment to comply with the applicable Federal Communications Commission radio frequency emissions regulations.

T-Mobile West LLC is, and will continue, to comply with all regulations regarding the Federal Communications Commission's radio frequency emissions regulations.

5. Liaison. The name of a contact person who can respond to questions concerning the application and proposed facility. Include name, address, telephone number, facsimile number and electronic mail address, if applicable.

Response: The contact person representing T-Mobile for the proposed modification is:

Mike Slotemaker

12303 434th Ave SE, North Bend, WA 98045

Phone #: 206-214-8954

Facsimile #: none

Email: mike.slotemaker@cortel-llc.com

Alpine City

Alpine City Development Code 3.27.3(1)c Notification Letter

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The following responses are to assist the City in completing the Notification Letter required under section 3.27.3(1)c

1. Address or location of the proposed tower, co-location, tower modification, etc.

Response: Near the Water Tank in Lambert Park, Alpine City, UT

2. Name of Applicant.

Response: T-Mobile

3. Type of tower/antenna (e.g. monopole, roof antenna, etc)

Response: Antenna swap on existing monopole

4. Date, time, and place of the public meeting at which the application will be presented to the Planning Commission.

Response: Based on the timing of the sign company's ability to post the public notice sign, we will target the November 1st Planning Commission meeting.

RECEIVED OCT 03 2016



Federal Communications Commission

Wireless Telecommunications Bureau

RADIO STATION AUTHORIZATION

LICENSEE: T-MOBILE LICENSE LLC

ATTN: FCC REGULATORY COMPLIANCE
T-MOBILE LICENSE LLC
12920 SE 38TH STREET
BELLEVUE, WA 98006

Call Sign WQIZ544	File Number
Radio Service WY - 700 MHz Lower Band (Blocks A, B & E)	

FCC Registration Number (FRN): 0001565449

Grant Date 06-26-2008	Effective Date 12-28-2015	Expiration Date 06-13-2019	Print Date
Market Number BEA153	Channel Block A	Sub-Market Designator 0	
Market Name Las Vegas, NV-AZ-UT			
1st Build-out Date 12-13-2016	2nd Build-out Date 06-13-2019	3rd Build-out Date	4th Build-out Date

Waivers/Conditions:

If the facilities authorized herein are used to provide broadcast operations, whether exclusively or in combination with other services, the licensee must seek renewal of the license either within eight years from the commencement of the broadcast service or within the term of the license had the broadcast service not been provided, whichever period is shorter in length. See 47 CFR §27.13(b).

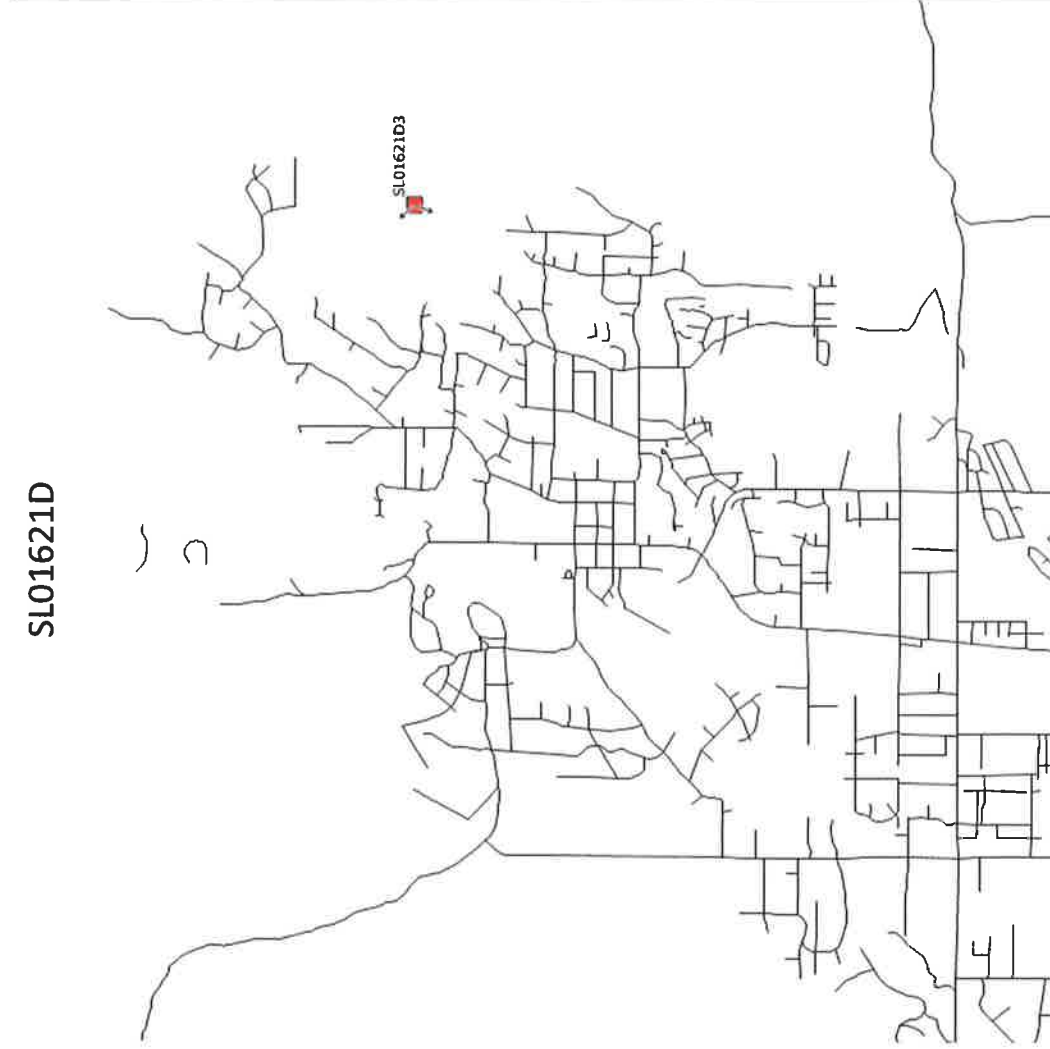
Grant of the request to update licensee name is conditioned on it not reflecting an assignment or transfer of control (see Rule 1.948); if an assignment or transfer occurred without proper notification or FCC approval, the grant is void and the station is licensed under the prior name.

Conditions:

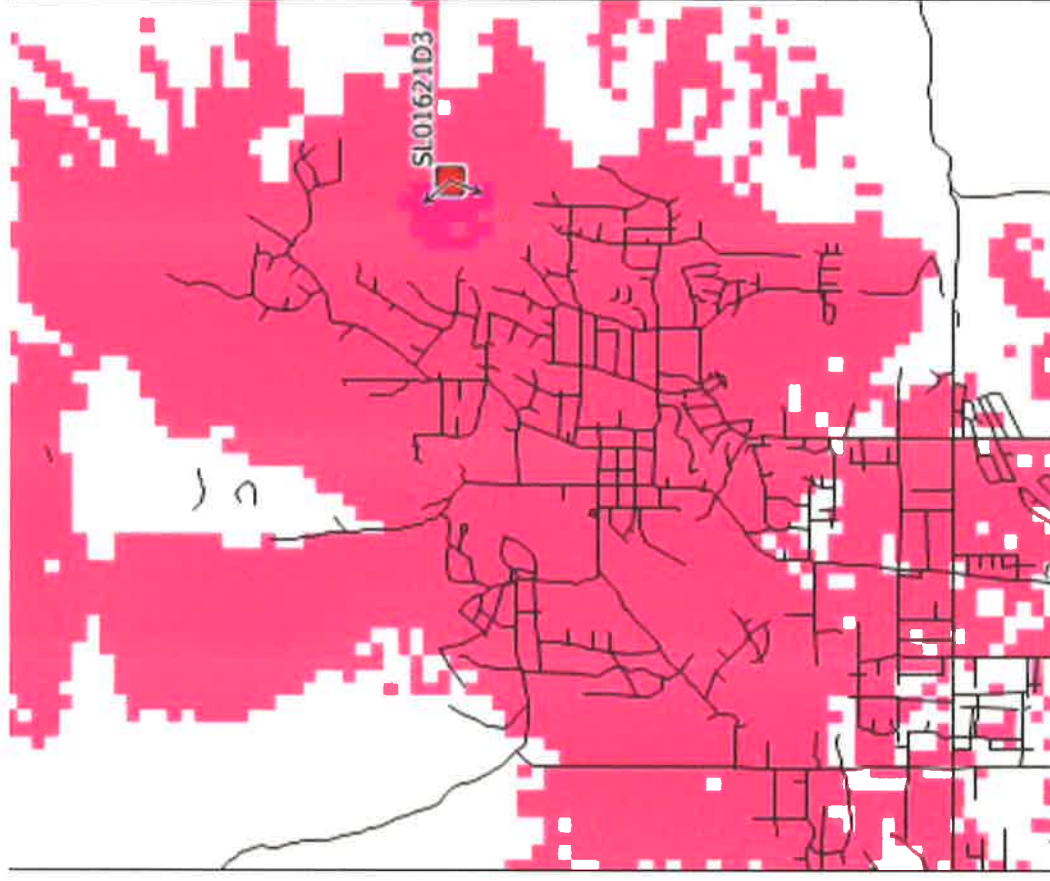
Pursuant to §309(h) of the Communications Act of 1934, as amended, 47 U.S.C. §309(h), this license is subject to the following conditions: This license shall not vest in the licensee any right to operate the station nor any right in the use of the frequencies designated in the license beyond the term thereof nor in any other manner than authorized herein. Neither the license nor the right granted thereunder shall be assigned or otherwise transferred in violation of the Communications Act of 1934, as amended. See 47 U.S.C. § 310(d). This license is subject in terms to the right of use or control conferred by §706 of the Communications Act of 1934, as amended. See 47 U.S.C. §606.

This license may not authorize operation throughout the entire geographic area or spectrum identified on the hardcopy version. To view the specific geographic area and spectrum authorized by this license, refer to the Spectrum and Market Area information under the Market Tab of the license record in the Universal Licensing System (ULS). To view the license record, go to the ULS homepage at <http://wireless.fcc.gov/uls/index.htm?job=home> and select "License Search". Follow the instructions on how to search for license information.

SL01621D



Current Band 12 LTE (L700) coverage



Future Band 12 LTE (L700) predicted coverage

RECEIVED OCT 03 2016

October 18, 2016

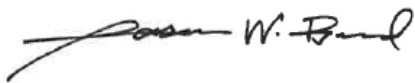
Dear Property Owner,

You have been identified as owning property within 500 feet of the boundaries of a proposed T-Mobile wireless telecommunication tower upgrade. This letter is to inform you that the Planning Commission will review a site plan for a cell tower upgrade that would replace existing antennas with updated antennas on the existing 100' steel monopole. The site is near the water tank at the south end of Lambert Park and is located at approximately 975 North 1450 East.

This proposal will be an agenda item at the Planning Commission meeting on Tuesday, November 1, 2016. The public meeting will be at 7:00 p.m. and is held at Alpine City Hall, 20 North Main in Alpine, Utah. This site plan will be presented to the Planning Commission that evening as an agenda item.

The public is invited to attend all Planning Commission meetings.

Sincerely,



Jason Bond
City Planner
(801) 756-6347 x 6
jbond@alpinecity.org



T-Mobile

SL01621D
PHOTO SIMULATION
OCTOBER 28, 2016

SITE ADDRESS:

ALPINE, UT 84004
UTAH COUNTY

COORDINATES:

LAT: 40°27'56.4590"N
LONG: 111°45'05.0940"W

CONTENTS:

- 1: COVER
- 2: EXISTING SOUTH ELEVATION
- 3: SOUTH ELEVATION SIMULATION
- 4: EXISTING WEST ELEVATION
- 5: WEST ELEVATION SIMULATION





T · · Mobile ·

SL01621D
SITE PHOTO
EXISTING SOUTH ELEVATION
OCTOBER 28, 2016





(2) NEW T-MOBILE PANEL
ANTENNAS (TO BE PAINTED TO
MATCH EXISTING TOWER)



SL01621D
SITE PHOTO
SOUTH ELEVATION SIMULATION
OCTOBER 28, 2016





((4) EXISTING T-MOBILE PANEL ANTENNAS
((2) TO BE REMOVED)



SL01621D
SITE PHOTO
EXISTING WEST ELEVATION
OCTOBER 28, 2016



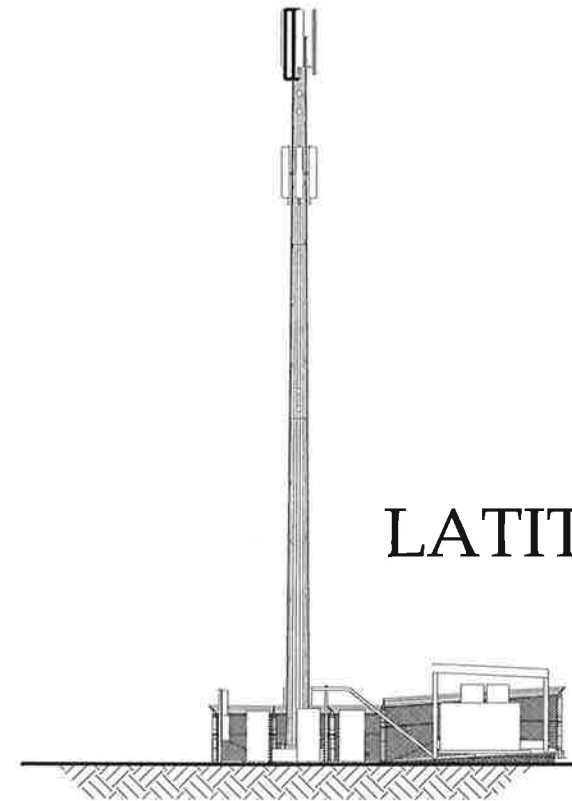


(2) NEW T-MOBILE PANEL
ANTENNAS (TO BE PAINTED TO
MATCH EXISTING TOWER)



SL01621D
SITE PHOTO
WEST ELEVATION SIMULATION
OCTOBER 28, 2016





T-Mobile

SL01621D

ALPINE WATER TANK

PUBLIC RECORD PARCEL NO. 11:044:0062

LATITUDE: 40°27'56.4590" N LONGITUDE: 111°45'05.0940" W

ALPINE, UT 84004

UTAH COUNTY

EXISTING COMMUNICATIONS SITE
LTE INSTALLATION PROJECT

DESIGNED FOR:

T-Mobile

T-MOBILE WEST LLC

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J5 INFRASTRUCTURE
PARTNERS, LLC

AZ - CA - CO - ID - NM - NV - TX - UT

REV	DESCRIPTION	DATE	BY	CHK
0	APPROVED FOR CONSTRUCTION	09/19/16	RSB	MLC

DESIGNED BY:

SHEET INDEX:

SHEET	TITLE	REV.
T1	TITLE SHEET	A
SP1	SPECIFICATION & PHOTO SHEET	A
C1	SITE PLAN	A
C2	ENLARGED SITE PLAN	A
C3	ELEVATIONS	A
C4	ELEVATIONS	A
C5	DETAILS	A
C6	EXISTING EQUIPMENT LAYOUT SHEET	A
C7	PROPOSED EQUIPMENT LAYOUT SHEET	A
RF1	ANTENNA INFORMATION	A
G1	GROUNDING DETAILS	A

PROJECT INDEX:

APPLICANT:
T-MOBILE
121 WEST ELECTION RD STE. 330
DRAPER, UT 84020

ENGINEERS/DESIGNERS:
J5 ENGINEERING INC
2875 S. DECKER LAKE DR., SUITE 165
WEST VALLEY CITY, UT 84119
CONTACT: TIERNEY ROWE
PHONE: (801) 597-4516

ZONING/SITE AQ:
J5 ENGINEERING INC
2875 S. DECKER LAKE DR., SUITE 165
WEST VALLEY CITY, UT 84119
CONTACT: TIERNEY ROWE
PHONE: (801) 597-4516

ABBREVIATED LEGAL
DESCRIPTION:

SW¼ OF SW¼ SEC. 17 T4S R2E SLB & M

FCC COMPLIANCE:

RADIATION FROM THIS FACILITY WILL NOT INTERFERE WITH OPERATION OF OTHER COMMUNICATION DEVICES.

GENERAL PROJECT NOTES:

- PRIOR TO SUBMITTING A BID, THE CONTRACTOR SHALL FAMILIARIZE HIMSELF/HERSELF WITH THE SCOPE OF WORK AND ALL CONDITIONS AFFECTING THE NEW PROJECT.
- CONTRACTOR SHALL VERIFY ALL FIELD CONDITIONS AND DIMENSIONS OF THE JOB SITE AND CONFIRM THAT WORK AS INDICATED ON THESE CONSTRUCTION DOCUMENTS CAN BE ACCOMPLISHED AS SHOWN PRIOR TO COMMENCEMENT OF ANY WORK.
- ALL FIELD MODIFICATIONS BEFORE, DURING, OR AFTER CONSTRUCTION SHALL BE APPROVED IN WRITING BY A T-MOBILE REPRESENTATIVE.
- INSTALL ALL EQUIPMENT AND MATERIALS PER THE MANUFACTURER'S RECOMMENDATIONS, U.N.O.
- NOTIFY T-MOBILE, IN WRITING, OF ANY MAJOR DISCREPANCIES REGARDING THE CONTRACT DOCUMENTS, EXISTING CONDITIONS, AND DESIGN INTENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING CLARIFICATIONS FROM A T-MOBILE REPRESENTATIVE AND ADJUSTING THE BID ACCORDINGLY.
- CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES OF THE WORK UNDER THE CONTRACT.
- CONTRACTOR SHALL PROTECT ALL EXISTING IMPROVEMENTS AND FINISHES THAT ARE TO REMAIN. CONTRACTOR SHALL REPAIR ANY DAMAGE THAT MAY OCCUR DURING THE CONSTRUCTION TO THE SATISFACTION OF A T-MOBILE REPRESENTATIVE.
- THE CONTRACTOR IS RESPONSIBLE FOR RED-LINING THE CONSTRUCTION PLANS TO ILLUSTRATE THE AS BUILT CONDITION OF THE SITE. FOLLOWING THE FINAL INSPECTION BY T-MOBILE, THE CONTRACTOR SHALL PROVIDE T-MOBILE WITH ONE COPY OF ALL RED-LINED DRAWINGS.
- VERIFY ALL FINAL EQUIPMENT WITH A T-MOBILE REPRESENTATIVE. ALL EQUIPMENT LAYOUT, SPECS, PERFORMANCE INSTALLATION AND THEIR FINAL LOCATION ARE TO BE APPROVED BY T-MOBILE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING HIS/HER WORK WITH THE WORK AND CLEARANCES REQUIRED BY OTHERS RELATED TO SAID INSTALLATIONS.

PROJECT INFORMATION:

PROPERTY OWNER: CITY OF ALPINE
JURISDICTION: CITY OF ALPINE
PUBLIC RECORD PARCEL NO: 11:044:0062

PROJECT DESCRIPTION:

THIS PROJECT CONSISTS OF THE FOLLOWING:
REMOVAL

- TWO (2) EXISTING PANEL ANTENNAS
- TWO (2) EXISTING TMA UNITS
- ONE (1) EXISTING 3106 EQUIPMENT CABINET

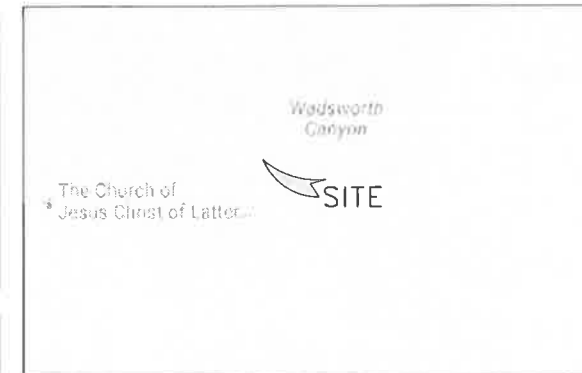
INSTALLATION

- TWO (2) NEW PANEL ANTENNAS
- EIGHT (8) NEW COAX JUMPERS
- FOUR (4) NEW TMA UNITS
- FOUR (4) NEW DIPLEXER UNITS
- ONE (1) NEW EQUIPMENT CABINET

DRIVING DIRECTIONS:

LATITUDE: 40°27'56.4590" N
LONGITUDE: 111°45'05.0940" W

FROM THE T-MOBILE OFFICE 121 WEST ELECTION ROAD DEPART TOWARD SOUTH LONE PEAK PARKWAY (0.1MI). TURN LEFT ONTO SOUTH LONE PEAK PARKWAY (0.6MI). USE 2ND FROM THE LEFT LANE TO TURN LEFT ON TO 12300 S (0.2MI). SLIGHT RIGHT TO MERGE ONTO 1-155 TOWARD PROVO (7.1MI). USE THE RIGHT 2 LANES TO TAKE EXIT 284 TOWARD HIGHLAND ALPINE (0.2MI). KEEP LEFT FOR UT-92 AND MERGE ONTO UT-92 E (0.4MI). SLIGHT RIGHT ONTO TIMPANOGOS HWY COMMUTER LN (2.7MI). TIMPANOGOS HWY COMMUTER LN TURNS SLIGHTLY RIGHT AND BECOMES UT-92 E/S R-92 (2.6MI). TURN LEFT ONTO 5300 W (0.4MI). CONTINUE ONTO UT-74 N/S MAIN ST (0.8MI). TURN RIGHT ONTO E 100 S (0.7MI). TURN LEFT ONTO S ALPINE BLVD TO DESTINATION (1.4MI). 4-WHEEL DRIVE VEHICLE REQUIRED TO ACCESS SITE.



VICINITY MAP
SCALE: N.T.S.



APPROVED
FOR CONSTRUCTION



PROJECT NAME:
SL01621D
ALPINE WATER TANK
EXISTING COMMUNICATIONS SITE
LTE INSTALLATION PROJECT

PROJECT ADDRESS:
LATITUDE: 40°27'56.4590" N
LONGITUDE: 111°45'05.0940" W
ALPINE, UT 84004
UTAH COUNTY

SHEET TITLE:
TITLE SHEET

SAVE DATE:
9/19/2016 1:33 PM

SHEET NUMBER:
T1

GENERAL PROJECT NOTES:

- CONTRACTOR IS RESPONSIBLE FOR ERECTING TEMPORARY BARRICADES AND/OR FENCING TO PROTECT THE SAFETY OF THE PUBLIC DURING CONSTRUCTION. THE CONTRACTOR SHALL REMOVE ALL TEMPORARY BARRIERS AND REPAIR ALL DAMAGE TO PROPERTY ON THE SITE CAUSED BY THIS CONSTRUCTION. THE COST OF REPAIR IS THE CONTRACTOR'S RESPONSIBILITY.
- ALL WORK SHALL BE IN ACCORDANCE WITH APPLICABLE LOCAL, STATE, AND FEDERAL REQUIREMENTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL MEASUREMENTS AT THE SITE PRIOR TO ORDERING ANY MATERIALS OR CONDUCTING ANY WORK.
- EXCESS SOIL MATERIAL AND DEBRIS CAUSED BY THIS CONSTRUCTION SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN A LEGAL MANNER.
- CONTRACTOR SHALL MAKE ADJUSTMENTS TO GRADING ELEVATIONS AS NECESSARY TO ENSURE A SITE FREE OF DRAINAGE PROBLEMS.
- CONTRACTOR SHALL COORDINATE A CONSTRUCTION LAYDOWN AREA WITH THE PROPERTY OWNER. CONSTRUCTION LAYDOWN AREA SHALL BE FENCED-IN WITH TEMPORARY (45 DAY) CONSTRUCTION FENCE. THE TEMPORARY FENCE SHALL BE CONSTRUCTED OF 6' HIGH CHAIN LINK FABRIC AND IS TO BE REMOVED AT THE END OF CONSTRUCTION. LAYDOWN AREA IS TO BE RESTORED TO ITS ORIGINAL CONDITION AFTER FENCE REMOVAL.
- SURVEY INFORMATION SHOWN WAS CREATED FROM RECORD INFORMATION AND DOES NOT CONSTITUTE A LEGAL BOUNDARY SURVEY.
- THESE PLANS DO NOT ADDRESS THE SAFETY AND STABILITY OF THE STRUCTURE DURING ASSEMBLY AND ERECTION, WHICH ARE THE RESPONSIBILITY OF THE ERECTOR, BASED ON THE MEANS AND METHODS CHOSEN BY THE ERECTOR.

GENERAL CONTRACTOR NOTES:

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE PROJECT SCOPE OF WORK DEFINED UNDER THE REQUEST FOR PROPOSAL (RFP) FOR THIS PROJECT AND ALL ASSOCIATED ATTACHMENTS AND DOCUMENTS PROVIDED.
THE RFP AND ALL ASSOCIATED DOCUMENTS SHALL DEFINE THE COMPLETE PROJECT SCOPE OF WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH ALL DOCUMENTS AND IS SOLELY RESPONSIBLE FOR ALL WORK.
ALL DOCUMENTS INCLUDED WITHIN THE PROJECT REQUEST FOR PROPOSAL ARE REQUIRED FOR THE COMPLETE PROJECT SCOPE OF WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK (EQUIPMENT, MATERIAL, INSTALLATION, TESTING, ETC.) INDICATED IN ALL DOCUMENTS. THE RFP, T-MOBILE NETWORK STANDARDS AND PROJECT ADDENDUMS AND CLARIFICATIONS ARE COMPLEMENTARY TO EACH OTHER. THE FORMAT OF THE SPECIFICATIONS AND DRAWING NUMBERING PER DISCIPLINE IS NOT INTENDED TO IMPLY SEGREGATION OF SUB CONTRACTOR WORK. CONTRACTOR SHALL ASSIGN ALL SUB CONTRACTOR WORK AND T-MOBILE WILL NOT ACCEPT ANY CHANGE ORDERS FOR INTERNAL CONTRACTOR WORK ASSIGNMENTS.
CONTRACTOR SHALL BE RESPONSIBLE FOR DISTRIBUTING ALL RFP DOCUMENTS TO THEIR SUB CONTRACTORS. ALL RFP DOCUMENTS ARE REQUIRED TO INDICATE THE PROJECT SCOPE OF WORK. PARTIAL SUB CONTRACTOR DOCUMENT PACKAGES ARE HIGHLY DISCOURAGED.
IN THE EVENT OF A CONFLICT BETWEEN THE DRAWINGS, SPECIFICATIONS, REFERENCED STANDARDS, T-MOBILE STANDARDS, OR AGREEMENT TERMS AND CONDITIONS THE ARCHITECT/ ENGINEER SHALL BE CONTACTED FOR FORMAL INTERPRETATION OF THE REQUIREMENTS. THE CONTRACTOR SHALL BE DEEMED TO HAVE PROVIDED THE DETAILED AND EXTENSIVE INTERPRETATION. ANY WORK INSTALLED IN CONFLICT WITH THE ARCHITECT/ ENGINEER INTERPRETATIONS SHALL BE CORRECTED BY THE CONTRACTOR AT NO EXPENSE TO T-MOBILE.
- ALL ANTENNAS MUST BE PIM TESTED WITHIN 48 HOURS OF THEM BEING RECEIVED BY THE INSTALLATION CONTRACTOR. THOSE RESULTS MUST BE SENT BACK TO THE T-MOBILE CONSTRUCTION ENGINEER AND EQUIPMENT ENGINEER WITHIN THE SAME 48 HOURS. IF YOU MISS THE 48HR TIMELINE AND THE ANTENNAS DO NOT PASS UPON INSTALLATION, YOUR COMPANY WILL BE CHARGED FOR THE COST OF THE ANTENNAS FOR REPLACEMENT.
- ALL LOADS MUST BE SECURED PROPERLY TO THE VEHICLE OR TRAILER. T-MOBILE WILL PASS ALONG THE COST OF ANY REPLACEMENTS DUE TO DAMAGE OR LOSS WHETHER IT IS NEW OR USED.

ANTENNA, MOUNTS & HARDWARE INSTALLATION NOTES:

- CONTRACTOR TO INSTALL ANTENNAS, MOUNTS AND TOWER HARDWARE PER MANUFACTURER'S RECOMMENDATIONS (OR AS REQUIRED BY THE OWNER/PROVIDER).
- ALL BOLTS SHALL BE TIGHTENED PER AISC REQUIREMENTS.
- ANY GALVANIZED SURFACES THAT ARE DAMAGED BY ABRASIONS, CUTS, DRILLING OR FIELD WELDING DURING SHIPPING OR ERECTION SHALL BE TOUCHED-UP WITH TWO COATS OF COLD GALVANIZING COMPOUND MEETING THE REQUIREMENTS OF ASTM A780.
- ANTENNA MOUNTS SHALL NOT BE USED AS A CLIMBING DEVICE. WORKERS SHALL ALWAYS TIE OFF TO AN APPROVED CLIMBING POINT.
- SEE ALSO GENERAL ANTENNA NOTES ON SHEET RF1 (IF APPLICABLE).

MAIN OVP, SECTOR BOX, RRU, TMA, & DIPLEXER INSTALLATION NOTES:

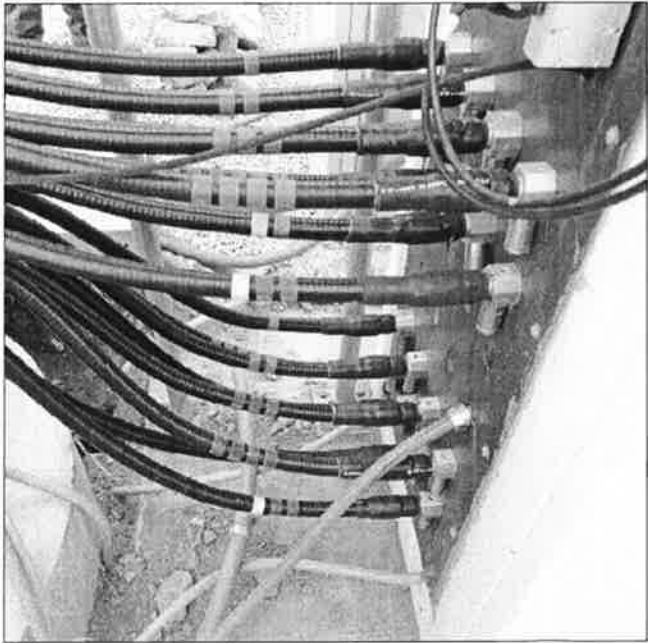
- CONTRACTOR TO INSTALL MAIN OVP, SECTOR BOXES, REMOTE RADIO HEADS, TOWER MOUNTED AMPLIFIERS, AND/OR DIPLEXERS PER MANUFACTURER'S RECOMMENDATIONS.
- ALL BOLTS SHALL BE TIGHTENED PER AISC REQUIREMENTS.
- ANY GALVANIZED SURFACES THAT ARE DAMAGED BY ABRASIONS, CUTS, DRILLING OR FIELD WELDING DURING SHIPPING OR ERECTION SHALL BE TOUCHED-UP WITH TWO COATS OF COLD GALVANIZING COMPOUND MEETING THE REQUIREMENTS OF ASTM A780.

COAX PORT NOTES:

- REQUIRED ADDITIONAL COAX PORTS TO BE ADDED AS NEEDED BY CONTRACTOR.
- ANY ADDITIONAL COAX PORTS TO BE INSTALLED BELOW THE EXISTING, WHERE POSSIBLE.
- CONTRACTOR TO INVESTIGATE INTERIOR OF SHELTER/EQUIPMENT ROOM FOR CLEAREST PENETRATION POINT.
- ADDITIONAL COAX PORTS TO BE INSTALLED PER INDUSTRY STANDARDS.

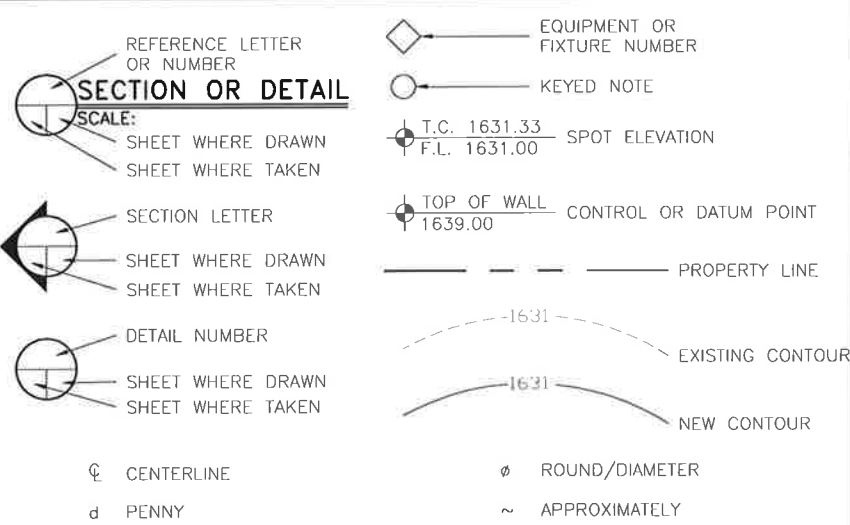


VIEW OF EXISTING ANTENNAS



VIEW OF EXISTING COAX PORT

LEGEND OF SYMBOLS:



VIEW OF EXISTING MONOPOLE

(LOOKING SOUTHEAST)

APPROVED
FOR CONSTRUCTION

DESIGNED FOR:

T-Mobile

T-MOBILE WEST LLC

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J5 INFRASTRUCTURE PARTNERS, LLC

AZ - CA - CO - ID - NM - NV - TX - UT

REV	DATE	BY	CHK	DESCRIPTION
0	09/19/16	RSB	MLC	APPROVED FOR CONSTRUCTION



PROJECT NAME: SL01621D
ALPINE WATER TANK
EXISTING COMMUNICATIONS SITE
LTE INSTALLATION PROJECT

PROJECT ADDRESS:
LATITUDE: 40°27'56.4590" N
LONGITUDE: 111°45'05.0940" W
ALPINE, UT 84004
UTAH COUNTY

SHEET TITLE:
SPECIFICATION & PHOTO
SHEET

SAVE DATE:
9/19/2016 1:33 PM

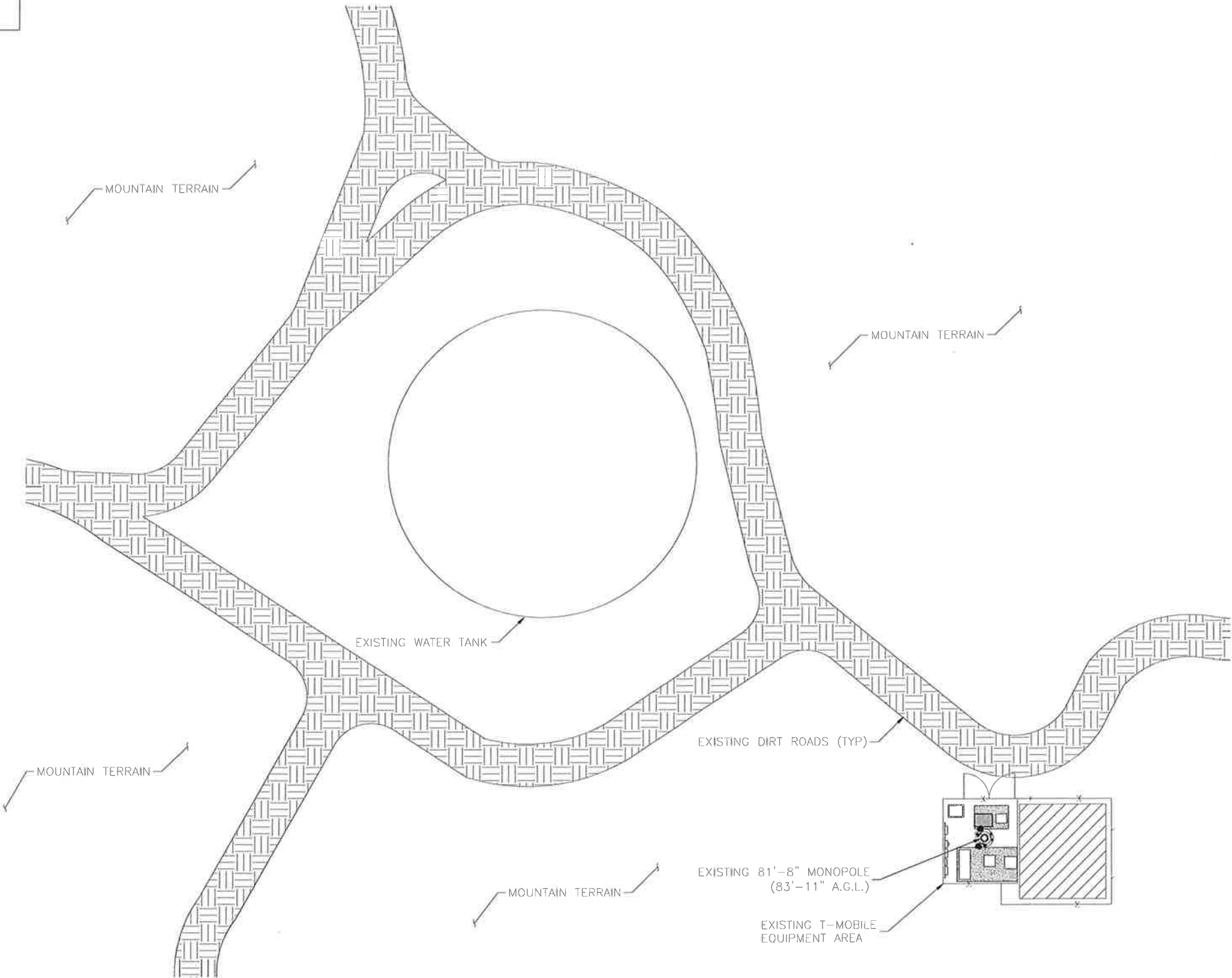
SHEET NUMBER:
SP1

GENERAL SITE PLAN NOTES:

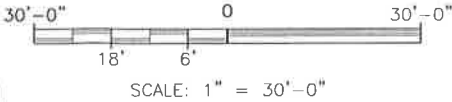
1.

INFORMATION SHOWN BELOW FOR DEPICTION PURPOSES ONLY. ALL DATA GATHERED FROM PUBLIC RECORDS AND GENERATED FROM AERIAL IMAGES AND SITE VISITS. INFORMATION DOES NOT CONSTITUTE A LEGAL BOUNDARY SURVEY AND SHOULD NOT BE USED FOR SURVEYING OR OTHER RELATED PURPOSES.
2.

SITE PLAN DATA AS SHOWN IS BASED UPON A LIMITED SITE MAPPING OF THE SURROUNDING AREA AND ARCHIVED SURVEY DOCUMENTS. DATA AS SHOWN IS FOR REFERENCE ONLY. CONFIRMATION AND PROOF OF LEASE AREA AND/OR EASEMENTS IS BEYOND THE SCOPE OF THIS PROJECT.



SITE PLAN



APPROVED
FOR CONSTRUCTION

DESIGNED FOR:

T-Mobile

T-MOBILE WEST LLC

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J5 INFRASTRUCTURE PARTNERS, LLC				AZ - CA - CO - ID - NM - NV - TX - UT			
REV	DESCRIPTION	DATE	BY	CHK	MLC		
0	APPROVED FOR CONSTRUCTION	09/19/16	RSB				

REGISTERED PROFESSIONAL ENGINEER
NO. 9379049-2202
MATTHEW L. CHANG
STATE OF UTAH
9/19/16

PROJECT NAME: SL01621D
ALPINE WATER TANK
EXISTING COMMUNICATIONS SITE
LTE INSTALLATION PROJECT

PROJECT ADDRESS:
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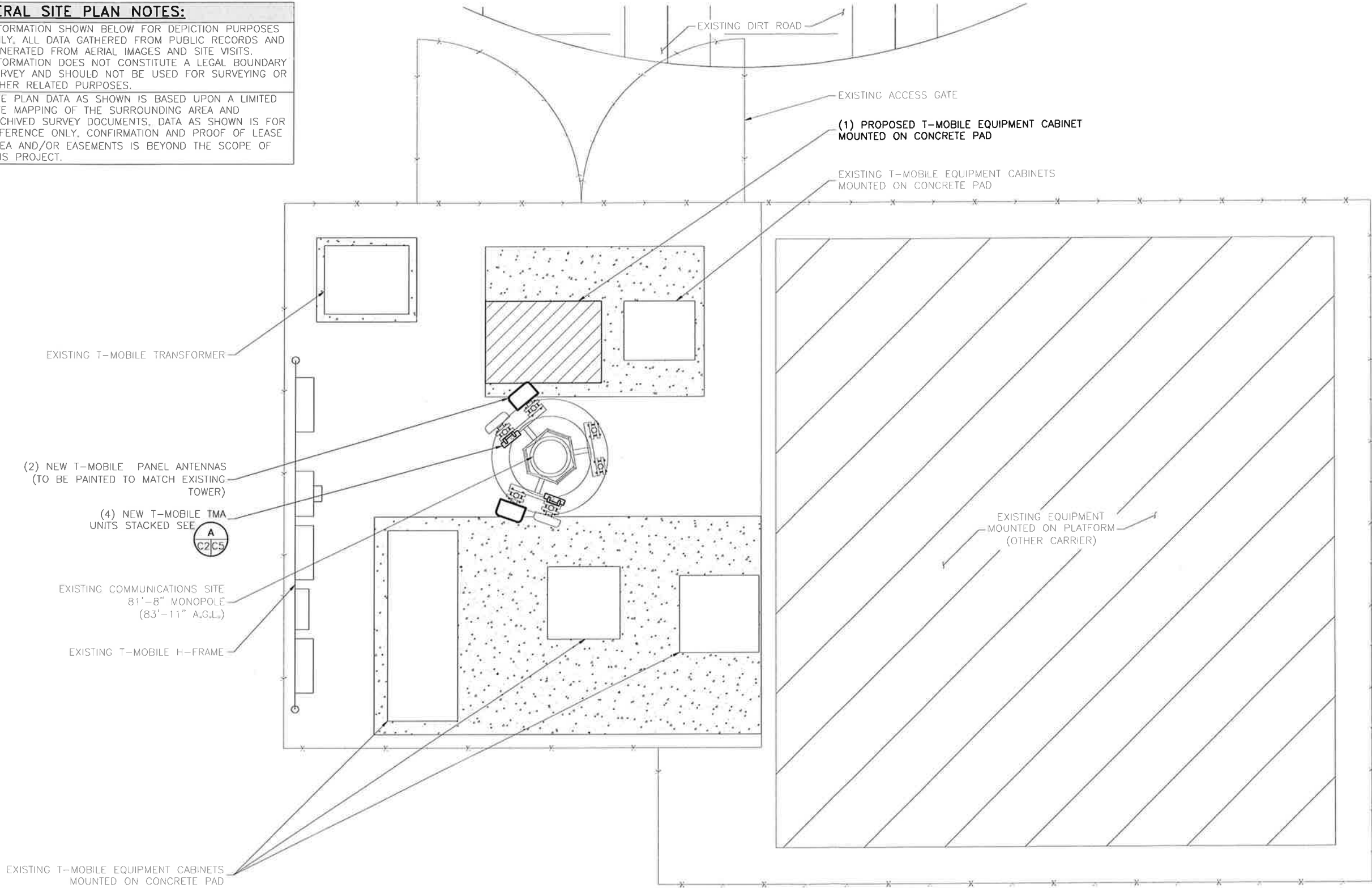
SHEET TITLE:
SITE PLAN

SAVE DATE:
9/19/2016 1:33 PM

SHEET NUMBER:
C1

GENERAL SITE PLAN NOTES:

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DESIGNED FOR:

T-Mobile

T-MOBILE WEST LLC

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J5 INFRASTRUCTURE

AZ - CA - CO - ID - NM - NV - TX - UT

REV	DESCRIPTION	DATE	BY	CHK
0	APPROVED FOR CONSTRUCTION	09/19/16	RSB	MLC

DESIGNED BY:



PROJECT NAME:
**SL01621D
ALPINE WATER TANK
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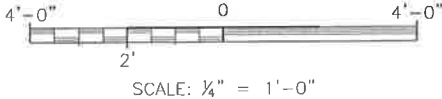
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**LATITUDE: 40°27'56.4590" N
LONGITUDE: 111°45'05.0940" W
ALPINE, UT 84004
UTAH COUNTY**

SHEET TITLE:
ENLARGED SITE PLAN

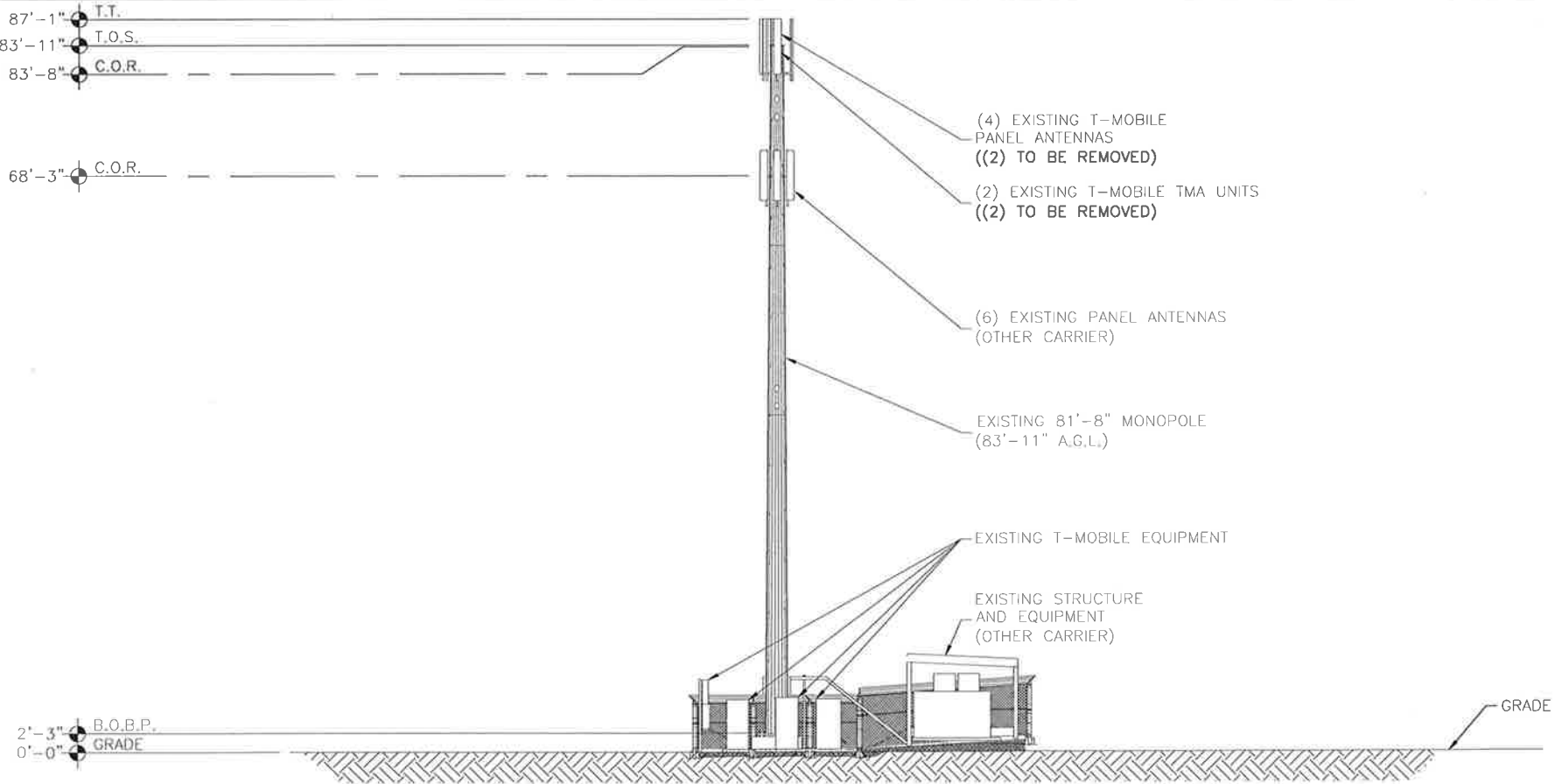
SAVE DATE:
9/19/2016 1:33 PM

SHEET NUMBER:
C2

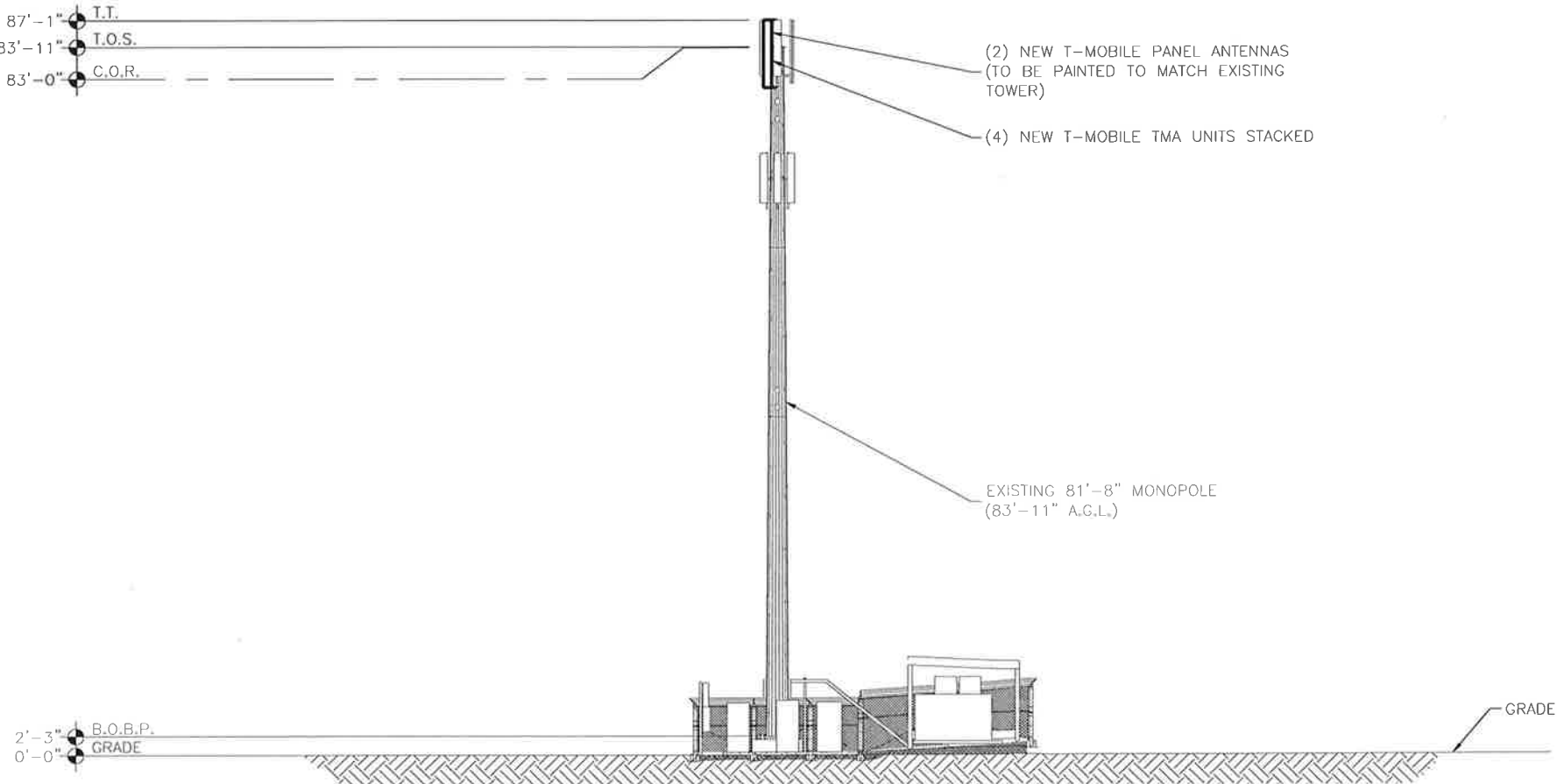
ENLARGED SITE PLAN



NOTES:
GROUND EQUIPMENT BY OTHERS
NOT SHOWN FOR CLARITY.



EXISTING SOUTH ELEVATION
SCALE: N.T.S.



NEW SOUTH ELEVATION
SCALE: N.T.S.

KEY:	
C.O.R. =	CENTER OF RADIATION
A.L. =	ATTACHMENT LEVEL
B.T. =	BOTTOM TIP LEVEL
T.T. =	TOP TIP LEVEL
A.G.L. =	ABOVE GRADE LEVEL
T.O.S. =	TOP OF STRUCTURE
B.O.B.P. =	BOTTOM OF BASE PLATE

DESIGNED FOR:

T-Mobile

T-MOBILE WEST LLC

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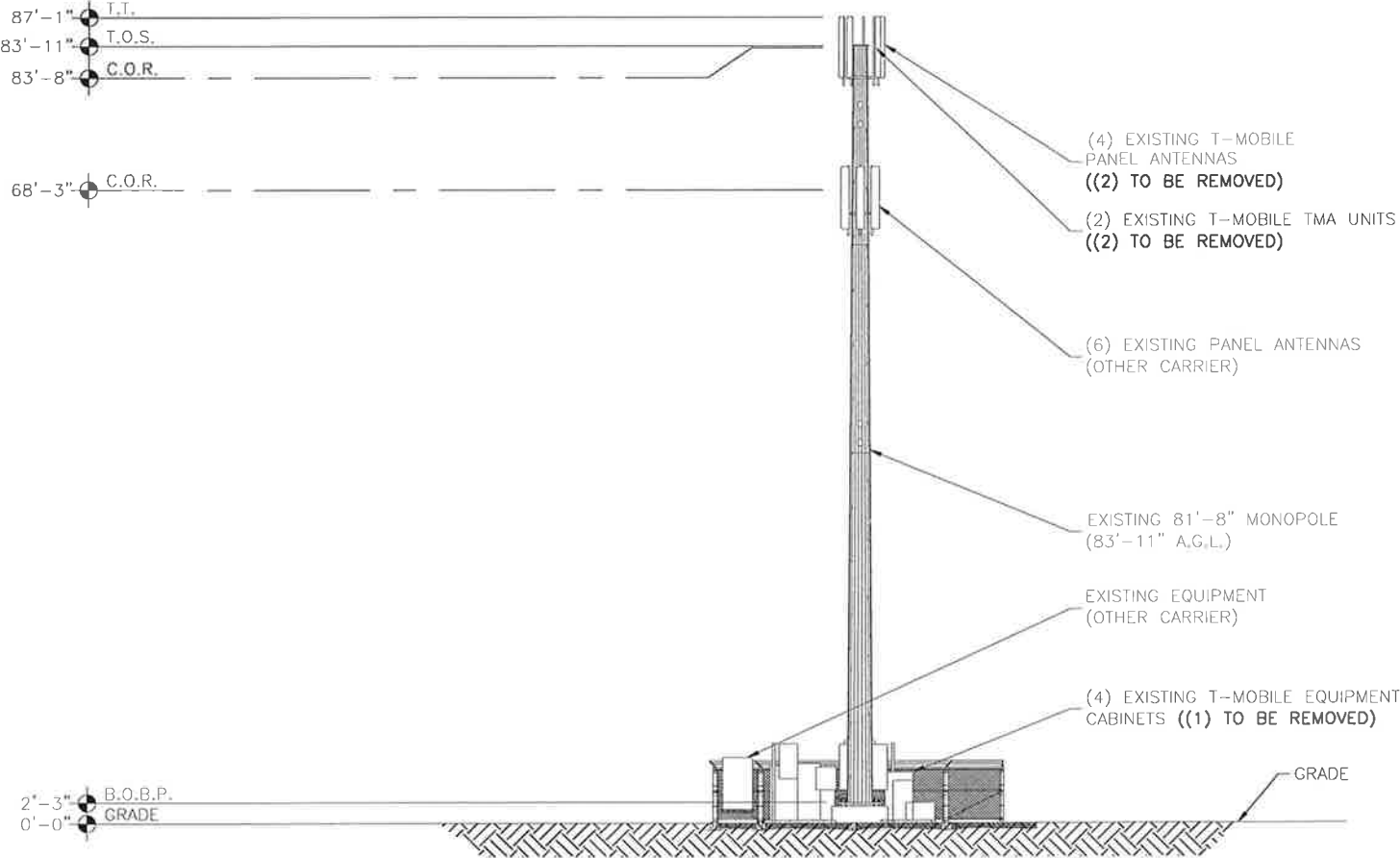
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ALPINE, UT 84004
UTAH COUNTY

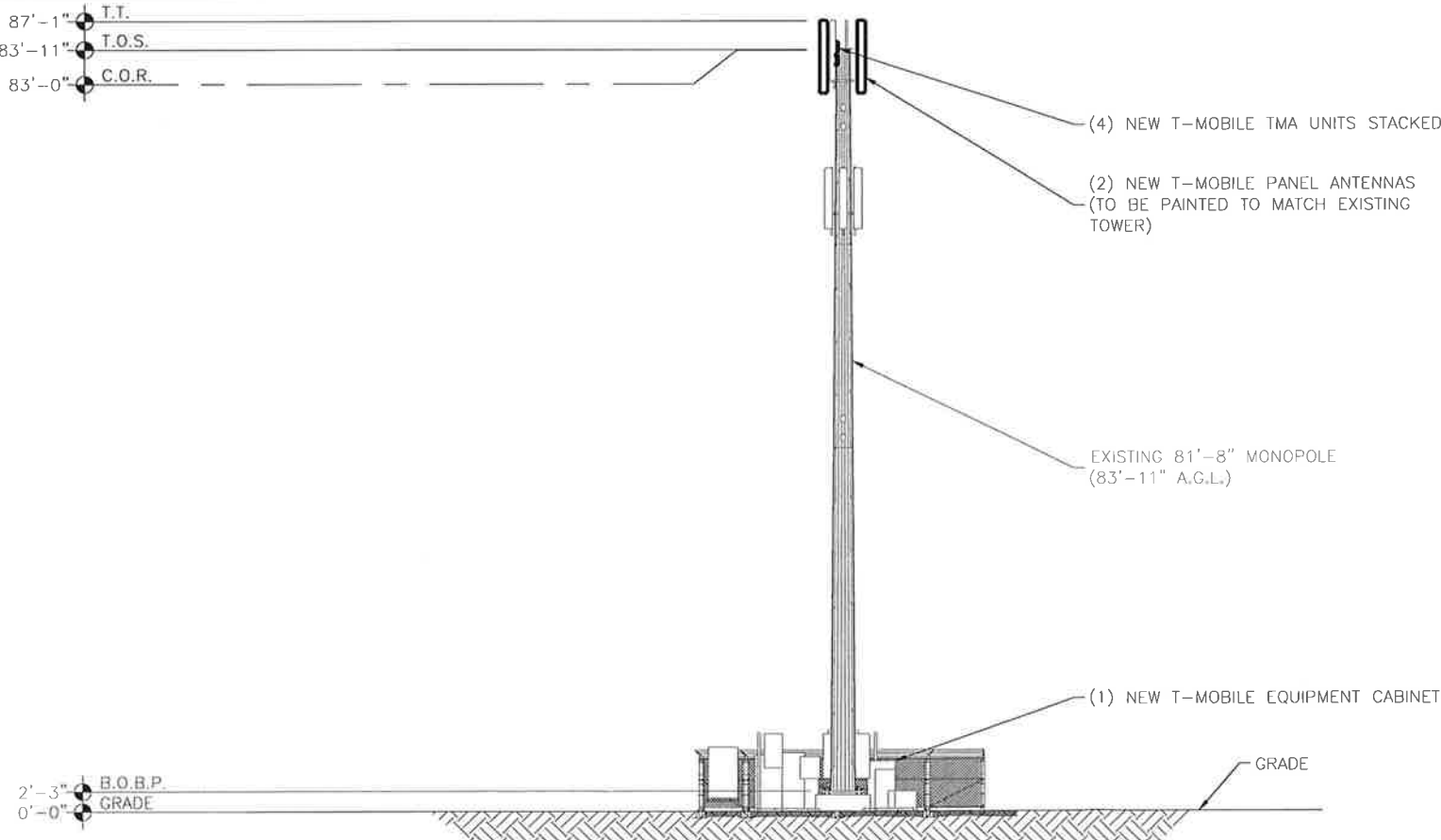
SHEET TITLE:	
ELEVATIONS	
SAVE DATE:	9/19/2016 1:33 PM
SHEET NUMBER:	C3

APPROVED
FOR CONSTRUCTION

NOTES:
GROUND EQUIPMENT BY OTHERS
NOT SHOWN FOR CLARITY.



EXISTING EAST ELEVATION
SCALE: N.T.S.



NEW EAST ELEVATION
SCALE: N.T.S.

KEY:	
C.O.R. =	CENTER OF RADIATION
A.L. =	ATTACHMENT LEVEL
B.T. =	BOTTOM TIP LEVEL
T.T. =	TOP TIP LEVEL
A.G.L. =	ABOVE GRADE LEVEL
B.O.B.P. =	BOTTOM OF BASE PLATE
T.O.S. =	TOP OF STRUCTURE

T-Mobile

T-MOBILE WEST LLC

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J5 INFRASTRUCTURE PARTNERS, LLC

AZ - CA - CO - ID - NM - NV - TX - UT

REV	DESCRIPTION	DATE	BY	CHK	MLC
0	APPROVED FOR CONSTRUCTION	09/19/16	RSB		



9/19/16

PROJECT NAME:
SL01621D
ALPINE WATER TANK
EXISTING COMMUNICATIONS SITE
LTE INSTALLATION PROJECT

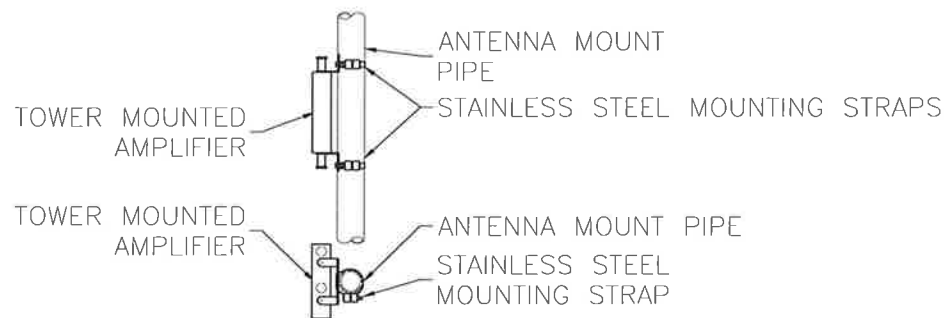
PROJECT ADDRESS:
LATITUDE: 40°27'56.4590" N
LONGITUDE: 111°45'05.0940" W
ALPINE, UT 84004
UTAH COUNTY

SHEET TITLE:
ELEVATIONS

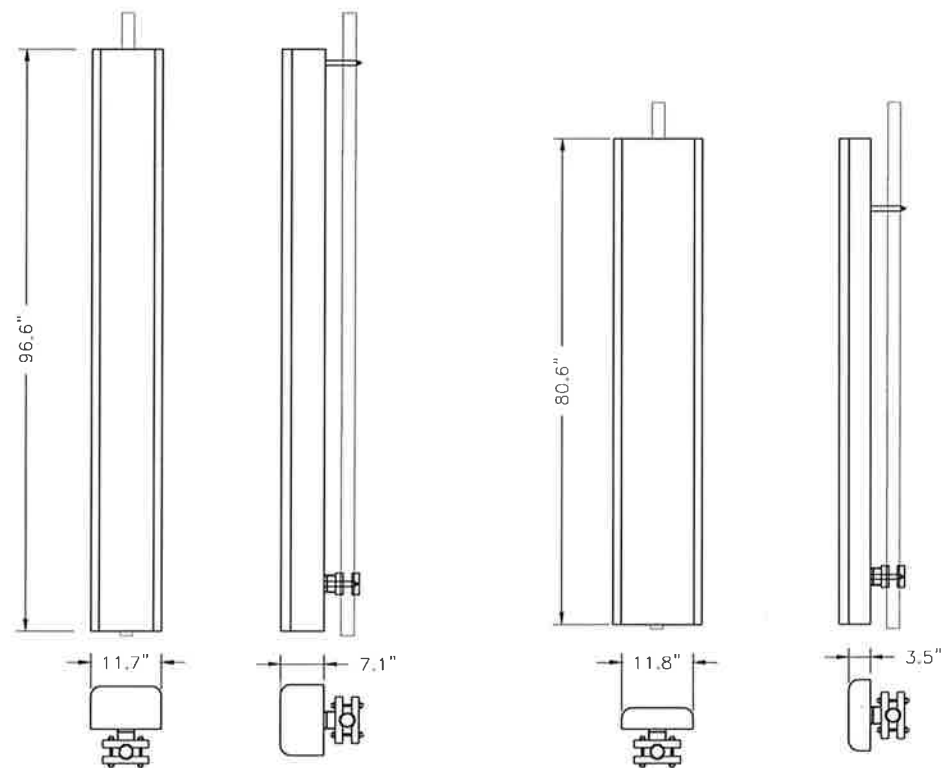
SAVE DATE:
9/19/2016 1:33 PM

SHEET NUMBER:
C4

APPROVED
FOR CONSTRUCTION



A TMA ATTACHMENT DETAIL
SCALE: N.T.S.



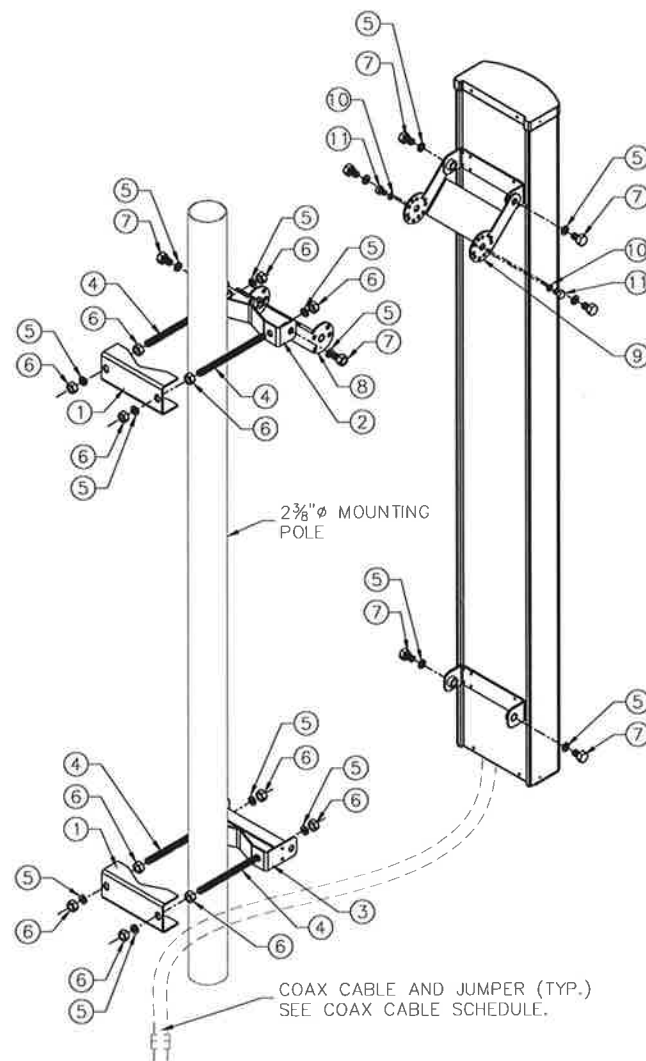
NEW ANTENNA
LNX-6516DS-A1M

EXISTING ANTENNA
ADFD1820-6565C-XDM

ANTENNA ATTACHMENT HARDWARE:

ITEM	PART NO.	QTY.	DESCRIPTION
①	601553-1	2	BRACKET, CLAMP
②	601539-1	1	ADAPTER, POLE
③	802355-4	1	ADAPTER, POLE LOWER
④	ROD190003	4	1/2" x 7" THREADED ROD
⑤	WSH150003	12	1/2" SPLIT WASHER
⑥	NUT150001	12	1/2" HEX HEAD NUT
⑦	BLT140002	6	1/2" x 1" HEX HEAD BOLT
⑧	601730-1	1	BRACKET, DOWNTILT POLE
⑨	601735-1	1	BRACKET, DOWNTILT, ANTENNA
⑩	WSH150006	2	5/16" SPLIT WASHER
⑪	BLT140004	2	5/16" HEX HEAD BOLT

OVERALL WEIGHT: 10.75 LBS.



ANTENNA ATTACHMENT DETAIL
SCALE: N.T.S.

APPROVED
FOR CONSTRUCTION

DESIGNED FOR:

T-Mobile

T-MOBILE WEST LLC

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J5 INFRASTRUCTURE PARTNERS, LLC

AZ - CA - CO - ID - NM - NV - TX - UT

REV	DESCRIPTION	DATE	BY	CHK
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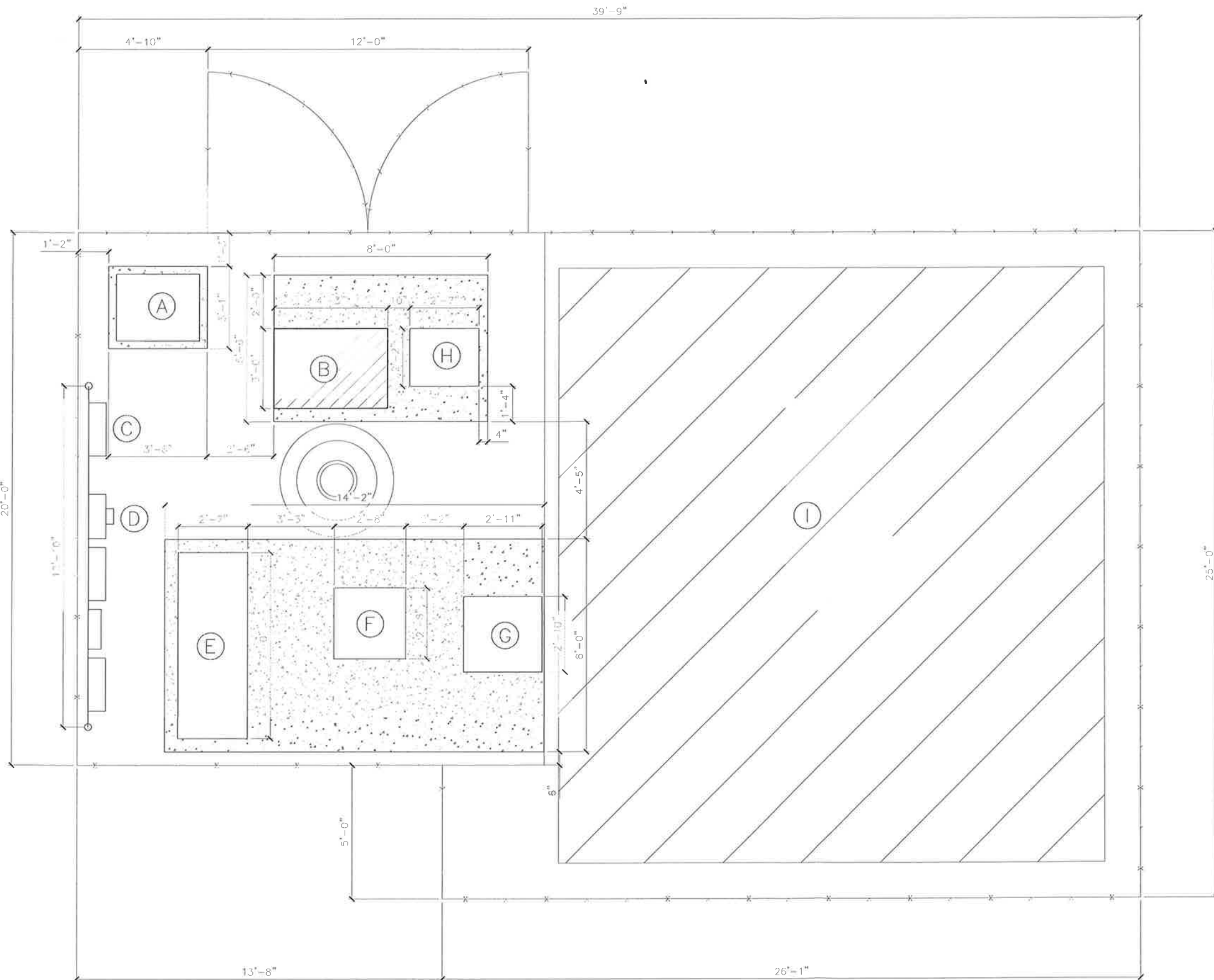
PROJECT NAME:
SL01621D
ALPINE WATER TANK
EXISTING COMMUNICATIONS SITE
LTE INSTALLATION PROJECT

PROJECT ADDRESS:
LATITUDE: 40°27'56.4590" N
LONGITUDE: 111°45'05.0940" W
ALPINE, UT 84004
UTAH COUNTY

SHEET TITLE:
DETAILS

SAVE DATE:
9/19/2016 1:33 PM

SHEET NUMBER:
C5



EXISTING EQUIPMENT LAYOUT
SCALE: N.T.S.



KEYED NOTES:	
(A)	TRANSFORMER
(B)	3106 EQUIPMENT CABINET (TO BE REMOVED)
(C)	BREAKER BOX
(D)	METER
(E)	DIESEL GENERATOR
(F)	COAX CABINET
(G)	CABINET (6201)
(H)	BATTERY CABINET
(I)	EQUIPMENT (BY OTHERS)

NOTES:	
BATTERY RACK:	
BATTERIES: (4) NORTHSTAR TYPE: NSB100FT	

DESIGNED FOR:

T-MOBILE WEST LLC

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DESIGNED BY:

AZ - CA - CO - ID - NM - NV - TX - UT

REV	DESCRIPTION	DATE	BY	CHK
0	APPROVED FOR CONSTRUCTION	09/19/16	RSB	MLC

PROJECT NAME:
SL01621D
ALPINE WATER TANK
EXISTING COMMUNICATIONS SITE
LTE INSTALLATION PROJECT

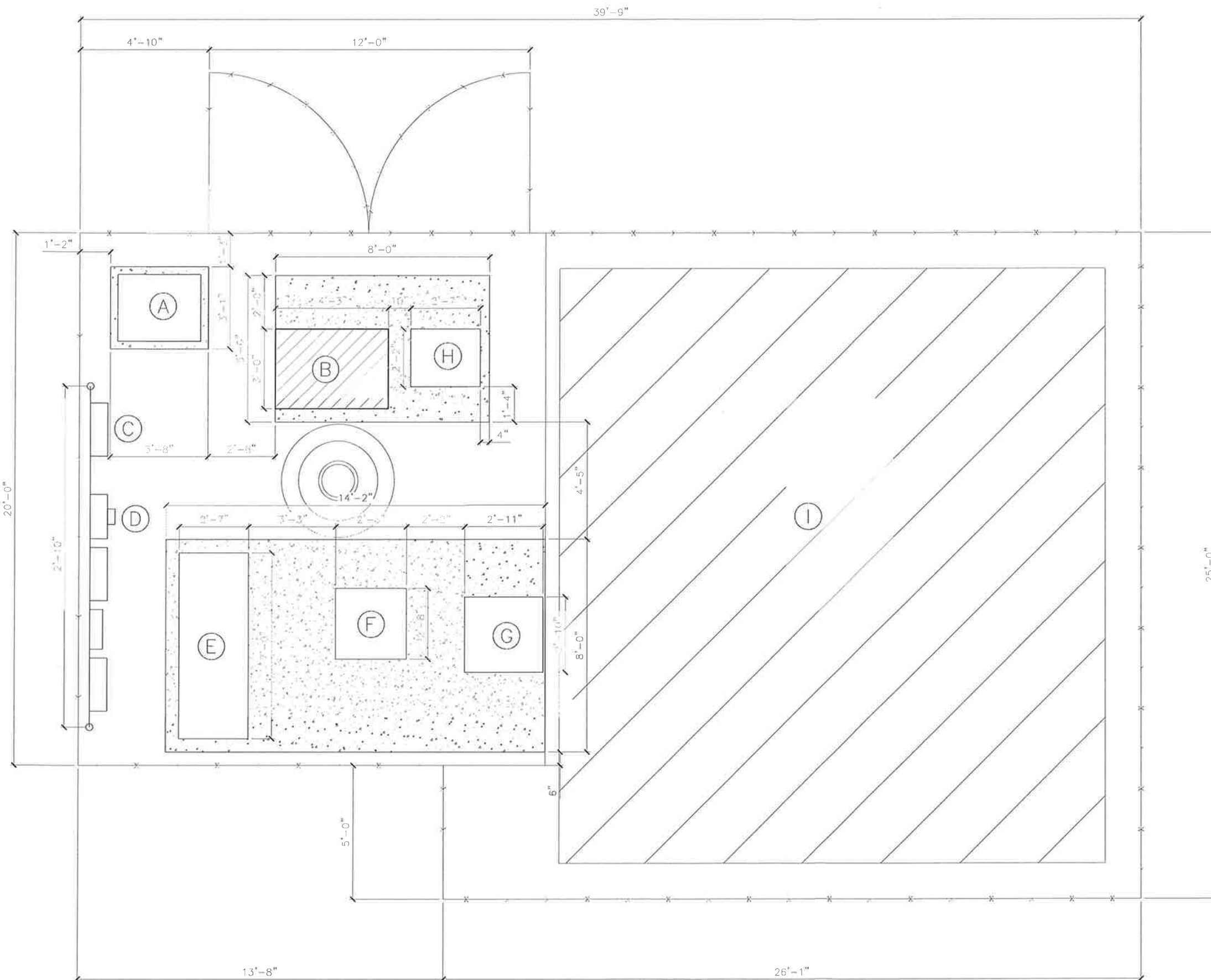
PROJECT ADDRESS:
LATITUDE: 40°27'56.4590" N
LONGITUDE: 111°45'05.0940" W
ALPINE, UT 84004
UTAH COUNTY

SHEET TITLE:
EXISTING
EQUIPMENT LAYOUT

SAVE DATE:
9/19/2016 1:33 PM

SHEET NUMBER:
C6





KEYED NOTES:	
(A)	TRANSFORMER
(B)	NEW 6201 EQUIPMENT CABINET
(C)	BREAKER BOX
(D)	METER
(E)	DIESEL GENERATOR
(F)	COAX CABINET
(G)	CABINET (6201)
(H)	BATTERY CABINET
(I)	EQUIPMENT (BY OTHERS)

NOTES:	
BATTERY RACK:	
BATTERIES: (4) NORTHSTAR	
TYPE: NSB100FT	

DESIGNED FOR:

T-MOBILE WEST LLC

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DESIGNED BY:

AZ - CA - CO - ID - NM - NV - TX - UT

REV	DESCRIPTION	DATE	BY	CHK
0	APPROVED FOR CONSTRUCTION	09/19/16	RSB	MLC

PROJECT NAME:
SL01621D
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PROJECT ADDRESS:
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LONGITUDE: 111°45'05.0940" W
ALPINE, UT 84004
UTAH COUNTY

SHEET TITLE:
PROPOSED
EQUIPMENT LAYOUT

SAVE DATE:
9/19/2016 1:33 PM

SHEET NUMBER:
C7



EXISTING T-MOBILE ANTENNA SCHEDULE:

ATTACH LEVEL (COR)	AZIMUTHS (DEG., TN)	ANTENNA TYPE	ANTENNA DIMENSIONS				ANTENNA QUANTITY	MOUNT TYPE	COAX (QUANTITY) SIZE (NOMINAL)	NOTES
			H	W	D	LBS				
83'-8"	320° 200°	ADFD1820-6565C-XDM 6' PANEL ANTENNA	80.6"	11.8"	3.5"	48	4	(2) T-ARMS (EXISTING)	(8) 7/8"Ø (EXISTING)	(2) TO BE REMOVED

- NOTES:
- ALL EXISTING AZIMUTHS REFERENCE TRUE NORTH.
 - ALL EXISTING AZIMUTHS AND ANTENNA INFORMATION ARE APPROXIMATE AND BASED ON THE RFDS PROVIDED BY T-MOBILE AND DIFFER FROM RECENT SITE VISIT.

NOTICE:

- CONTRACTOR SHALL NOT SUBMIT BIDS OR PERFORM CONSTRUCTION WORK ON THIS PROJECT WITHOUT ACCESS TO THE CURRENT COMPLETE SET OF DRAWINGS LISTED IN THE TITLE-SHEET INDEX.

GROUNDING NOTE:

- ALL NEW EQUIPMENT & COAX TO BE GROUNDED PER T-MOBILE GROUNDING SPECS.

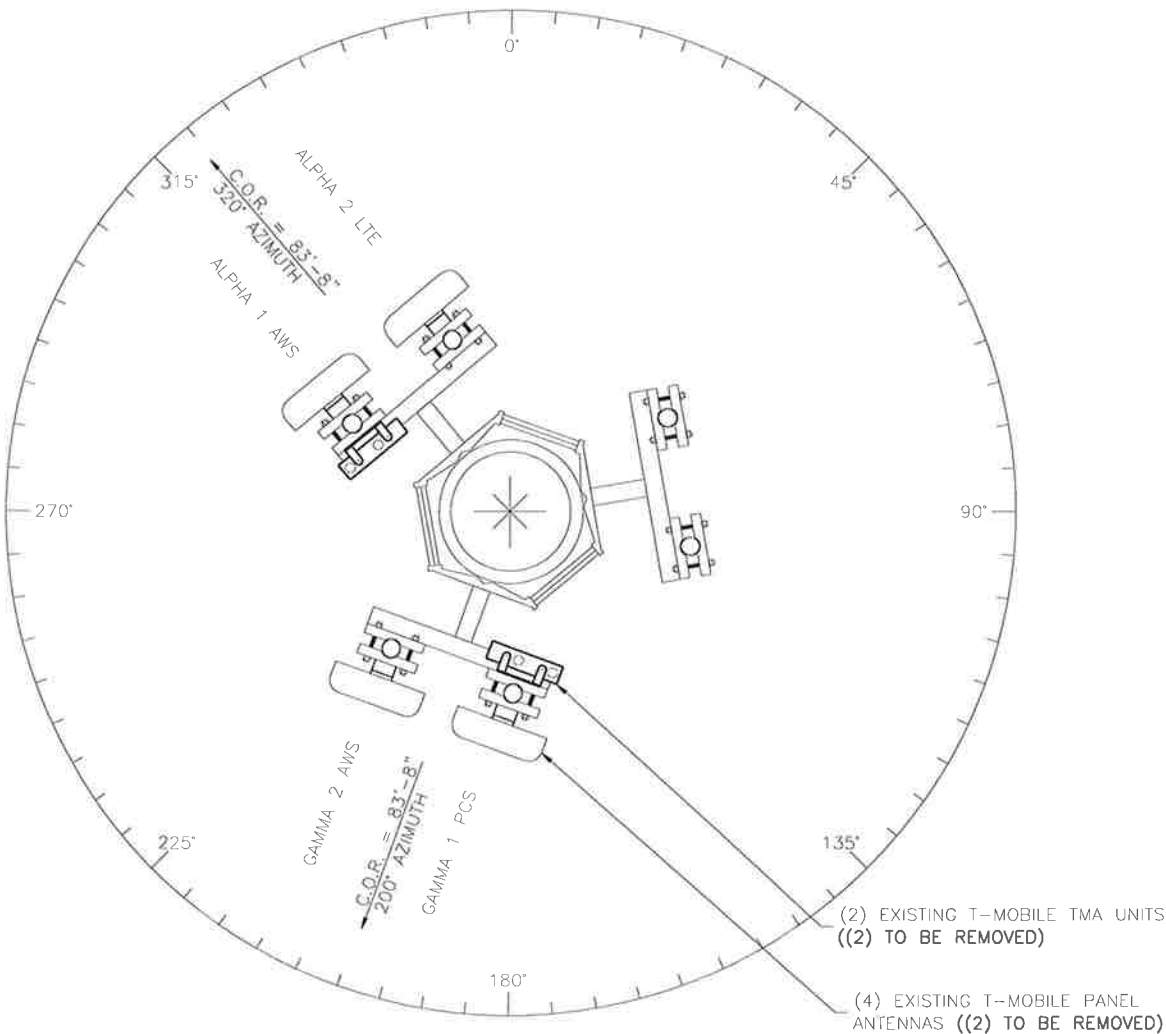
NEW T-MOBILE ANTENNA SCHEDULE:

ATTACH LEVEL (COR)	AZIMUTHS (DEG., TN)	ANTENNA TYPE	ANTENNA DIMENSIONS				ANTENNA QUANTITY	MOUNT TYPE	COAX (QUANTITY) SIZE (NOMINAL)	MECHANICAL DOWN TILT
			H	W	D	LBS				
83'-8"	320° 200°	ADFD1820-6565C-XDM 6' PANEL ANTENNA	80.6"	11.8"	3.5"	48.0	2 (EXISTING)	(2) T-ARMS (EXISTING)	(8) 7/8"Ø COAX (EXISTING)	REFER TO RFDS
83'-0"		COMMSCOPE LNX-6515DS-A1M 8' PANEL ANTENNA	96.6"	11.9"	7.1"	43.7	2 (NEW)		(8) COAX JUMPERS (NEW)	

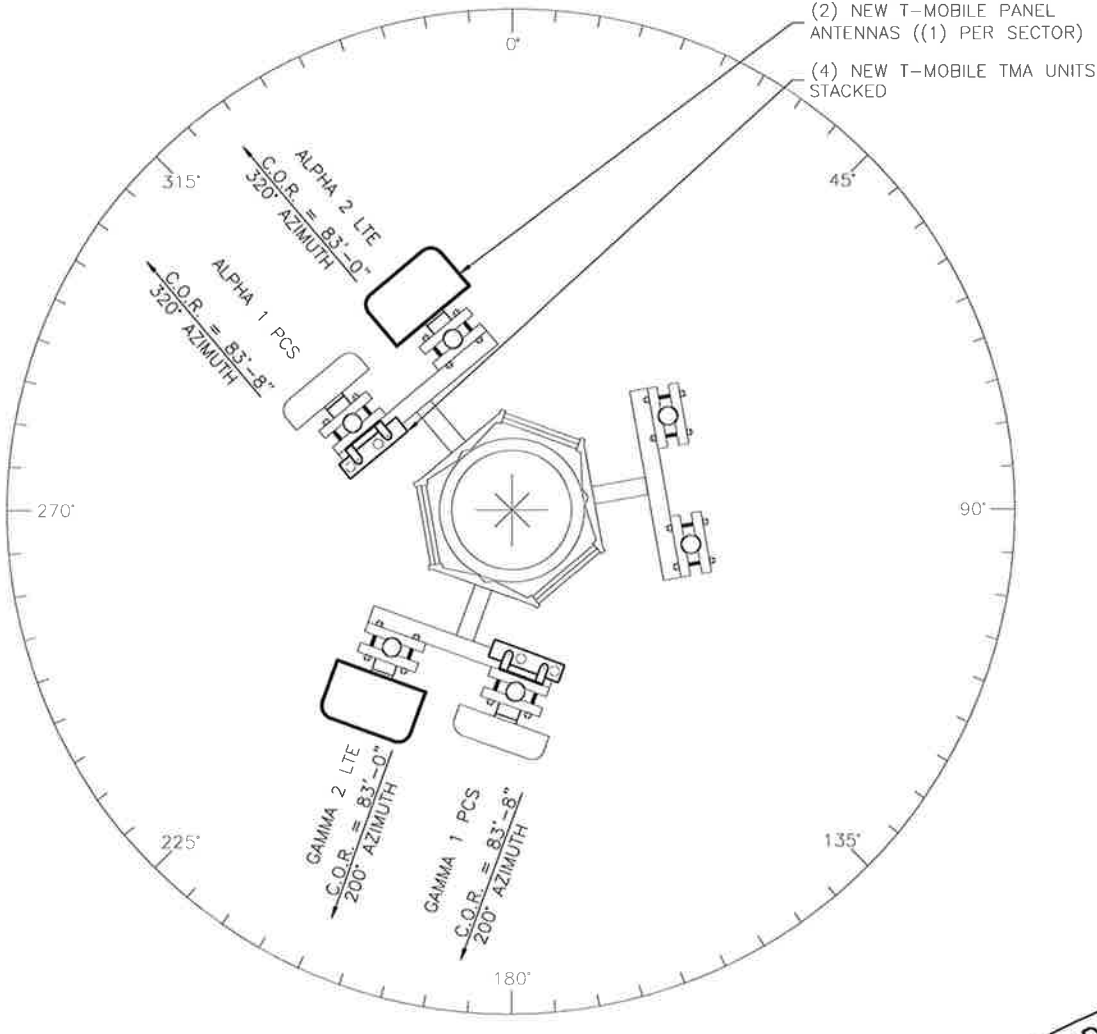
- NOTES:
- FOR EXACT ANTENNA INFORMATION REFER TO THE RF DESIGN.
 - ALL NEW COAX SHALL BE INSTALLED INSIDE MONOPOLE, (IF POSSIBLE)
 - ALL UNUSED COAX SHALL BE REMOVED.
 - CONTRACTOR TO USE (16) 7/8"Ø (EXISTING) COAX.
 - CONTRACTOR TO INSTALL DIPLEXERS IN EQUIPMENT ROOM AND ON TOP OF TOWER AS REQUIRED BY RF DESIGN, (IF APPLICABLE)

GENERAL ANTENNA NOTES:

- CONTRACTOR TO VERIFY MECHANICAL DOWNTILT WITH FINAL RFDS/RF ENGINEER.
- DUAL POLAR ANTENNAS REQUIRE TWO RUNS OF COAX PER ANTENNA.
- CONTRACTOR TO VERIFY ALL ACTUAL LENGTHS IN FIELD PRIOR TO INSTALLATION AND NOTIFY THE FIELD ENGINEER FOR VERIFICATION OF SIZES OF CABLES.
- CONTRACTOR TO PROVIDE AS BUILT FOR THE LENGTH OF CABLES UPON COMPLETION OF INSTALLATION.
- CONTRACTOR TO PROVIDE FINAL CABLE LENGTHS AND RETURN LOSSES FOR ALL CABLES.
- ALL AZIMUTHS REFERENCE TRUE NORTH. CONSULT REQUIRED QUADRANGLE MAP FOR NECESSARY MAGNETIC DECLINATION.



EXISTING ANTENNA SECTION @ 83'-8"
SCALE: N.T.S.



NEW ANTENNA SECTION @ 83'-0"
SCALE: N.T.S.



DESIGNED FOR:



T-MOBILE WEST LLC

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DESIGNED BY:

CHK BY:

DATE:

REV:

DESCRIPTION:

APPROVED FOR CONSTRUCTION:

J5 INFRASTRUCTURE PARTNERS, LLC

AZ - CA - CO - ID - NM - NV - TX - UT

REGISTERED PROFESSIONAL ENGINEER

NO. 9379049-2202

MATTHEW L. CHANG

STATE OF UTAH

9/19/16

PROJECT NAME:

SL01621D
ALPINE WATER TANK
EXISTING COMMUNICATIONS SITE
LTE INSTALLATION PROJECT

PROJECT ADDRESS:

LATITUDE: 40°27'56.4590" N
LONGITUDE: 111°45'05.0940" W
ALPINE, UT 84004
UTAH COUNTY

SHEET TITLE:

ANTENNA INFORMATION

SAVE DATE:

9/19/2016 1:33 PM

SHEET NUMBER:

RF1

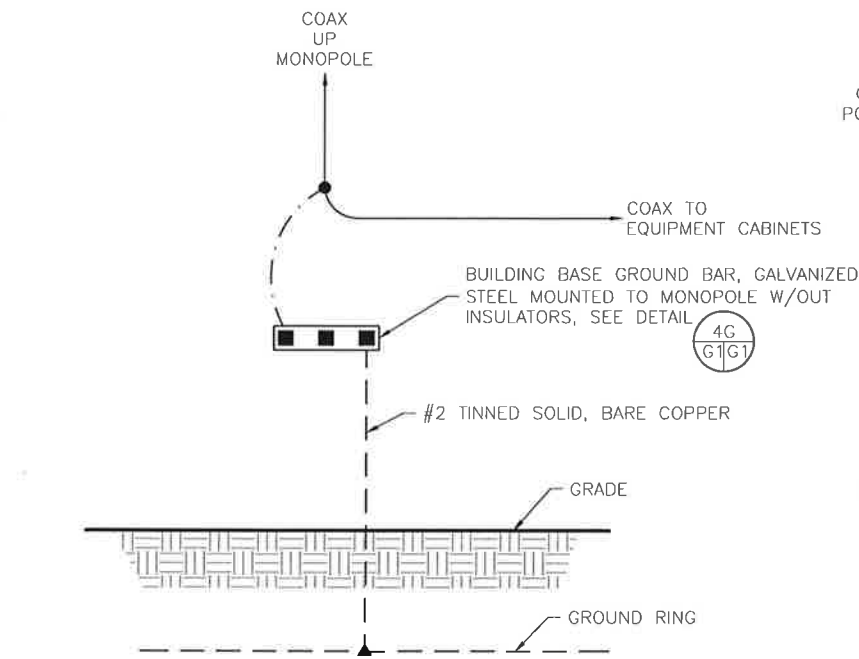
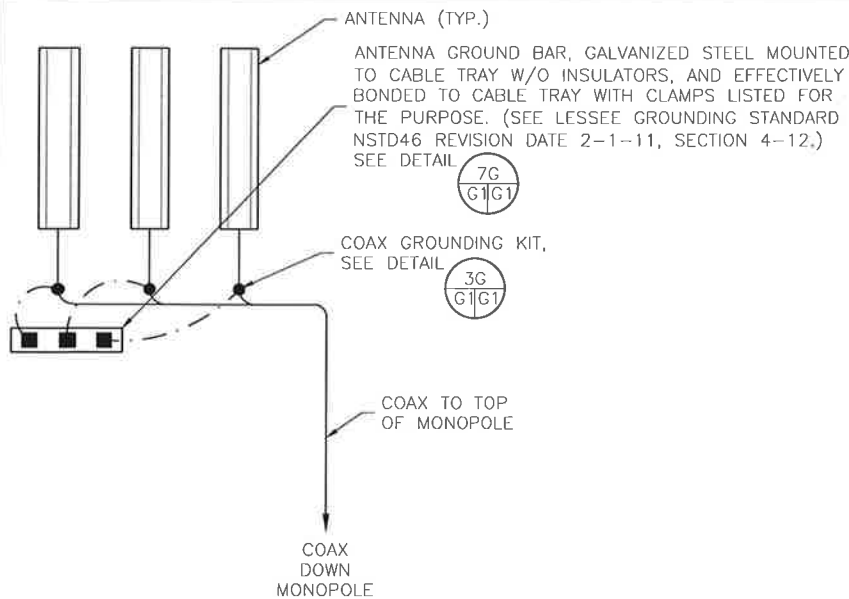
GROUNDING LEGEND:

▲	CADWELD CONNECTION
●	COAX GROUND KIT
■	MECHANICAL CONNECTION
⊗	5/8"X8' CU CLAD STEEL GROUND ROD
---	#2 SOLID, TINNED, BARE COPPER
---	#2 STRANDED, INSULATED, COPPER INTERIOR GROUND
---	COAX & JUMPERS
---	#6 STRANDED, INSULATED COPPER THWN

#6 AWG STRANDED COPPER GROUND WIRE (GROUND TO GROUND BAR)

CABLE GROUNDING KIT
ANTENNA CABLE

3G
G1G1
TYPICAL GROUND KIT
SCALE: N.T.S.



NOTICE:

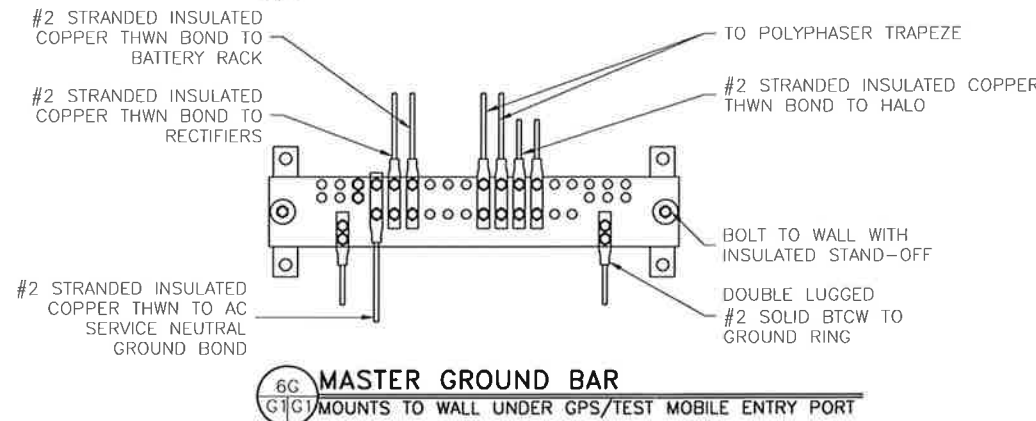
- CONTRACTOR SHALL NOT SUBMIT BIDS OR PERFORM CONSTRUCTION WORK ON THIS PROJECT WITHOUT ACCESS TO THE CURRENT COMPLETE SET OF DRAWINGS LISTED IN THE TITLE-SHEET INDEX.

TYPICAL GROUNDING ELEVATION
SCALE: N.T.S.

THEFT DETERRENT:

ALL EXTERIOR GROUND BARS TO BE GALVANIZED STEEL ATTACHED WITH TAMPER PROOF HARDWARE AND WITH ALARM CONNECTIONS PER LESSEE GROUNDING STANDARD NSTD46 REVISION DATE 2-1-11. SEE NOTES BELOW.

4G
G1G1
TOWER GROUND BAR
BOLT TO COAX TRAY @ BASE OF TOWER



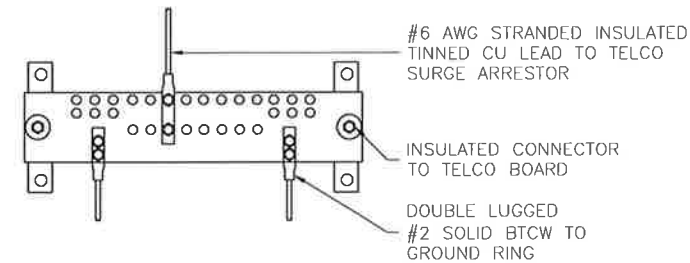
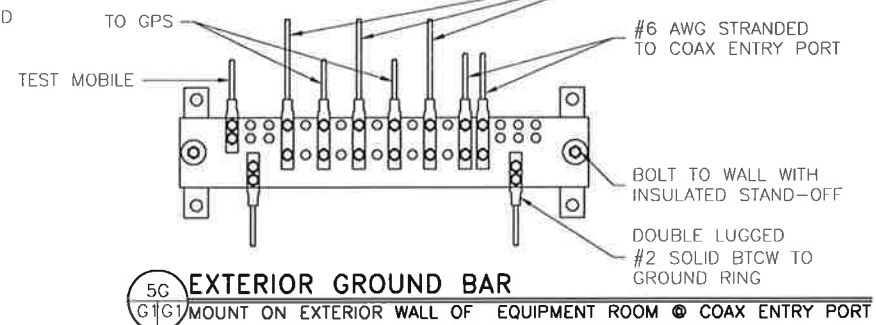
NOTES:

- ALL HARDWARE TO BE TAMPER PROOF STAINLESS STEEL PER NSTD46 REVISION DATE 2-1-11.
- COAT ALL SURFACES WITH KOPR-SHEILD BEFORE MATING.
- ALL LUGS SHALL BE 2-BOLT CONNECTIONS.
- EXTERIOR BUS BARS: 4"x20"x1/4" GALVANIZED STEEL.
- INTERIOR BUS BARS: 4"x20"x1/4" COPPER.
- ALL LEADS TO MGB MUST BE LABELED ACCORDING TO NSTD46 REV 2-1-11 SECTION 3.8, FIG. 3.4. WHEN FUTURE REVISIONS ARE ISSUED THE CORRESPONDING INFORMATION FROM THE MOST RECENT REVISION SHALL BE USED.
- EXTERIOR GROUND BARS SHALL HAVE ALARM CONNECTIONS FOR THEFT PROTECTION AS SPECIFIED IN NSTD46 REV DATE 2-1-11 SECTION 5.3.

DOUBLE-LUGGED CU LEAD TO ANDREW GROUNDING KIT @ EACH COAX

BOLT TO CABLE TRAY W/O INSULATORS

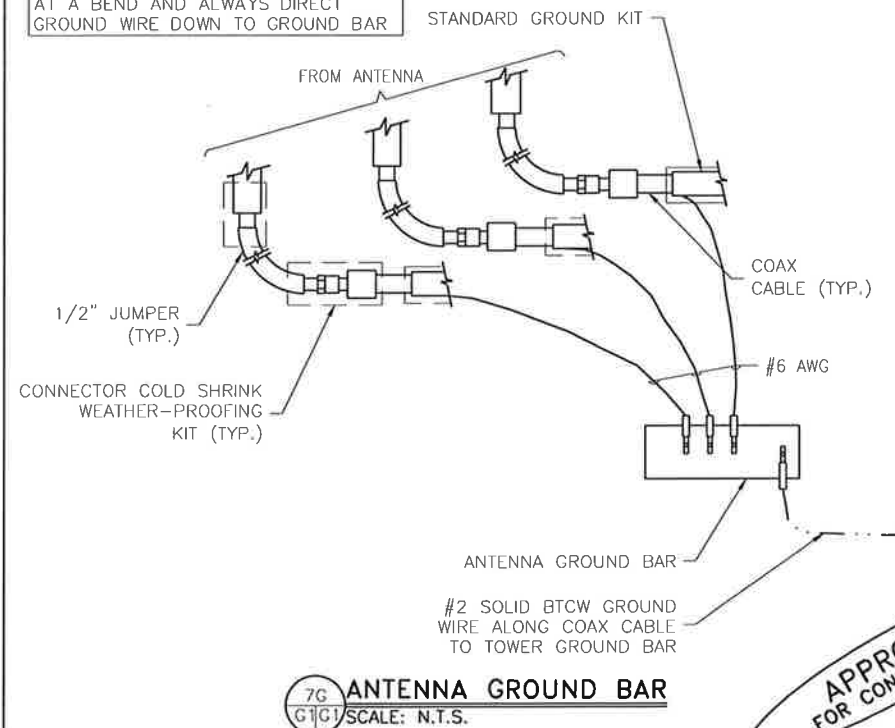
DOUBLE LUGGED #2 SOLID BTCW TO GROUND RING



GROUNDING SCHEMATIC DETAILS
SCALE: N.T.S.

NOTE:

DO NOT INSTALL CABLE GROUND KIT AT A BEND AND ALWAYS DIRECT GROUND WIRE DOWN TO GROUND BAR



APPROVED FOR CONSTRUCTION

DESIGNED FOR:

T-Mobile
T-MOBILE WEST LLC

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J5 INFRASTRUCTURE
AZ - CA - CO - ID - NM - NV - TX - UT

REV	DATE	BY	CHK	DESCRIPTION
0	09/19/16	RSB	MLC	APPROVED FOR CONSTRUCTION



PROJECT NAME:
SL01621D
ALPINE WATER TANK
EXISTING COMMUNICATIONS SITE
LTE INSTALLATION PROJECT

PROJECT ADDRESS:
LATITUDE: 40°27'56.4590" N
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ALPINE, UT 84004
UTAH COUNTY

SHEET TITLE:
GROUNDING DETAILS

SAVE DATE:
9/19/2016 1:33 PM
SHEET NUMBER:
G1

ARTICLE 3.27

WIRELESS TELECOMMUNICATIONS ORDINANCE

(Ord. No. 2006-06, 4/25/06; Amended by Ord. No. 2012-05, 7/10/12;
Ord. No. 2014-15, 09/23/14)

3.27.1 GENERAL PROVISIONS

1. Title. This Ordinance shall be known as the Wireless Telecommunications Ordinance.
2. Purpose & Intent. The unique character, landscapes and scenic vistas of Alpine are among its most valuable assets. Preserving and promoting those assets are essential to the long-range social and economic wellbeing of the City and its inhabitants. Protecting these assets requires sensitive placement and design of wireless communication facilities so that these facilities remain in scale and harmony with the existing character of the community.
 - a. To amend Ordinance No. 2006-06 to accommodate new technology and develop regulations on the use and development of City property for new cell tower facilities.
 - b. To regulate personal wireless services antennas, with or without support structures, and related electronic equipment and equipment structures.
 - c. To provide for the orderly establishment of personal wireless services facilities in the City.
 - d. To minimize the number of antenna support structures by encouraging the co-location of multiple antennas on a single new or existing structure.
 - e. To establish siting, appearance and safety standards that will help mitigate the potential impacts related to the construction, use and maintenance of personal wireless communication facilities.
 - f. To comply with the Telecommunication Act of 1996 by establishing regulations that (1) do not prohibit or have the effect of prohibiting the provision of personal wireless services, (2) do not unreasonably discriminate among providers of functionally equivalent services, and (3) are not based on the environmental effects of radio frequency emissions to the extent that such facilities comply with the Federal Communications Commission's regulations concerning such emissions.
3. Findings.
 - a. Personal wireless services facilities (PWSF) are an integral part of the rapidly growing and evolving telecommunications industry, and present unique zoning challenges and concerns by the City.
 - b. The City needs to balance the interests and desires of the telecommunications industry and its customers to provide competitive and effective telecommunications systems in the City, against the sometimes differing interests and desires of others concerning health, safety, welfare, and aesthetics, and orderly planning of the community.
 - c. The City has experienced an increased demand for personal wireless services facilities to be located in the City, and expects the increased demand to continue in the future.
 - d. It is in the best interests of the City to have quality personal wireless services facilities available, which necessarily entails the erection of personal wireless services facilities in the City.
 - e. The unnecessary proliferation of personal wireless services facilities through the City creates a negative visual impact on the community.
 - f. The visual effects of personal wireless services facilities can be mitigated by fair standards regulating their siting, construction, maintenance and use.
 - g. A private property owner who leases space for a personal wireless services facility is the only one who receives compensation for the facility, even though numerous other property owners in the area are adversely affected by the location of the facility.

- h. Chapter 69-3, Utah Code Annotated, grants cities the authority to create or acquire sites to accommodate the erection of telecommunications tower in order to promote the location of telecommunication towers in a manageable area and to protect the aesthetics and environment of the area. The law also allows the City to require the owner of any tower to accommodate the multiple use of the tower by other companies where feasible and to pay the City the fair market rental value for the use of any City-owned site.
 - i. Telecommunications towers located on government property with the lease payments being paid to Alpine City instead of individual property owners evenly distributes the income from the lease payments to all citizens of Alpine through increased government services thus indirectly compensating all of the citizens of Alpine for the impact all citizens experience. The public policy objectives to reduce the proliferation of telecommunications towers and to mitigate their impact can be best facilitated by locating telecommunications and antenna support structures on property owned, leased or used by Alpine City as a highest priority whenever feasible.
- 4. Definitions. The following words shall have the described meaning when used in this ordinance, unless a contrary meaning is apparent from the context of the word.
 - a. Antenna. A transmitting or receiving device used in telecommunications that radiates or captures radio signals.
 - b. Antenna Support Structure. Any structure that can be used for the purpose of supporting an antenna(s).
 - c. City. The City of Alpine, Utah.
 - d. City-owned property. Real property that is owned by the City.
 - e. Close to Tower Mount. Also known as slim mount, antennas on cell towers mounted very close to tower in order to appeal less noticeable.
 - f. Co-location. The location of an antenna on an existing structure, tower or building that is already being used for personal wireless services facilities.
 - g. Monopole. A single, self-supporting, cylindrical pole that acts as the support structure for one (1) or more antennas for a personal wireless services facility.
 - h. Personal Wireless Services. Commercial mobile telecommunications services, unlicensed wireless communications services, and common carrier wireless telecommunications exchange access services.
 - i. Personal Wireless Services Antenna. An antenna used in connection with the provision of personal wireless services.
 - j. Personal Wireless Services Facilities (PWSF). Facilities for the provision of personal wireless services. Personal wireless services facilities include transmitters, antennas, structures supporting antennas, and electronic equipment that is typically installed in close proximity to a transmitter.
 - k. Private Property. Any real property not owned by the City, even if the property is owned by another public or government entity.
 - l. Quasi public use. Uses such as a school or church or other uses defined as quasi public uses in Section 3.1.11 of the Alpine City Zoning Ordinance.
 - m. Tower. A freestanding structure that is used as a support structure for antenna.
 - n. Whip antenna. An antenna that is cylindrical in shape. Whip antennas can be directional or omnidirectional and vary in size depending on the frequency and gain for which they are designed.
- 5. Applicability. This ordinance (the Wireless Telecommunications Ordinance) applies to both commercial and private low power radio services and facilities, such as "cellular" or PCS (personal communications system) communications and paging systems. This ordinance shall not apply to the following types of communications devices, although they may be regulated by other City ordinances and policies.

- a. Amateur Radio. Any tower or antenna owned and operated by an amateur radio operator licensed by the Federal Communication Commission.
- b. Amateur T.V. Any tower or antenna owned and operated by an amateur T.V. operator licensed by the Federal Communication Commission.
- c. Satellite. Any device designed for over-the-air reception of television broadcast signals, multichannel multipoint distribution service or direct satellite service.
- d. Cable. Any cable television head-end or hub towers and antennas used solely for cable television services.

3.27.2 LOCATION AND TYPES OF TOWERS/ANTENNAS

1. Personal Wireless Services Facilities Site Locations. The following are currently approved locations:

- a. Co-location on an existing tower.
- b. City owned property.
- c. Property in conjunction with a quasi-public or public use.
- d. Commercial property in the business commercial zone.

No new towers shall be located in Lambert Park.

New towers shall be located no closer than a one-quarter (1/4) mile radius from another tower and shall be no closer to a residence than two (2) times the height of the tower.

If the applicant desires to locate on a site other than the approved sites listed above, the applicant shall have the burden of demonstrating to the City why it cannot locate on an approved site. To do so, the applicant shall provide the following information to the City:

- a. The identity and location of any approved sites located within the desired service area.
- b. The reason(s) why the approved sites are not technologically, legally, or economically feasible. The applicant must make a good faith effort to locate towers and antennas on an approved site. The City may request information from outside sources to justify or rebut the applicant's reason(s) for rejecting an approved site.
- c. Why the proposed site is essential to meet the service demands of the geographic service area and the citywide network. If the applicant desires to construct a monopole, the applicant shall also submit a detailed written description of why the applicant cannot obtain coverage using existing towers.

2. Permitted and Non-Permitted Towers and Antennas.

- a. Permitted. The following are permitted:
 1. Co-location on existing towers.
 2. Existing towers may be maintained, used, and upgraded or replaced. A replacement tower shall not exceed the height of the tower being replaced.
 3. Monopoles are permitted subject to the following:
 - a. A monopole shall not exceed eighty feet (80').
 4. Roof-mounted Antennas are permitted subject to the following:
 - a. A roof-mounted antenna shall be screened, constructed, and/or colored to match the structure to which it is attached.

- b. A roof-mounted antenna shall be set back from the building edge one (1) foot for every one (1) foot of antenna height and shall not exceed fifteen (15) feet in height.
- 5. All new antennas shall be slim-mounted or mounted to an existing array.

b. Not Permitted. The following are not permitted:

- 1. Lattice Towers. Lattice appearance is not permitted.
- 2. Guyed Towers.
- 3. Co-location Requirement. Unless otherwise authorized by the approving authority for good cause shown, every new tower shall be designed and constructed to be of sufficient size and capacity to accommodate at least two (2) additional wireless telecommunications providers on the structure in the future.
- 4. Lease Agreement. The City has no implied obligation to lease any particular parcel of City-owned property to an applicant. The City shall enter into a standard lease agreement with the applicant for any facility built on City property. The Mayor or designee is hereby authorized to execute the standard lease agreement on behalf of the City. The lease shall contain the condition that the approving authority must first approve the site plan before the lease can take effect, and that failure to obtain such approval renders the lease null and void.

3.27.3 PROCEDURE (Amended by Ord. No. 2014-15, 9/23/14)

State or local government may not deny, and shall approve, any eligible facilities request for a modification of an existing wireless tower or base station that does not substantially change the physical dimensions of such tower or base station. For purposes of this subsection, the term "eligible facilities request" means any request for modification of an existing wireless tower or base station that involves:

- (A) collocation of new transmission equipment;
- (B) removal of transmission equipment; or
- (C) replacement of transmission equipment.

- 1. Application Requirements. Any person desiring to develop, construct or establish a personal wireless services facility in the City shall submit an application for site plan approval to the City. A site plan shall be required for all new towers and antennas and any modification or replacement of a tower or antenna. The City shall not consider the application until all required information has been included. The application shall be submitted to the City Planner at least fourteen (14) days prior to the public meeting at which it will be presented to the Planning Commission. The applicant shall include the following:
 - a. Fee. The applicable fee shall be paid to the City Recorder, payable to Alpine City, as set forth in the Alpine City Consolidated Fee Schedule.
 - b. Site Plan. A site plan meeting the City's standard requirements for site plans.
 - c. Notification Letter. The applicant shall submit a list of all property owners within five hundred (500) feet of the boundaries of the property where the proposed tower or antenna is to be located. The applicant shall also submit envelopes that have been stamped and addressed to all property owners on the list. The City may require a greater distance if deemed necessary or appropriate. The City shall prepare a notification letter to be sent to the property owners on the list submitted by the applicant to be mailed out at

least seven (7) days prior to the public meeting at which the application will be presented to Planning Commission. The letter shall contain the following information:

1. Address or location of the proposed tower, co-location, tower modification, etc.
 2. Name of the applicant.
 3. Type of tower/antenna (e.g. monopole, roof antenna, etc.)
 4. Date, time, and place of the public meeting at which the application will be presented to the Planning Commission.
- d. Sign. The applicant shall erect a sign of sufficient durability, and print and size quality that is reasonably calculated to give notice to passers-by. The sign shall be posted at least fourteen (14) days prior to the public meeting at which the application will be presented to the Planning Commission. The sign:
1. Shall be 4 ft. (H) x 8 ft. (W)
 2. Shall not be more than six (6) feet in height from the ground to the highest point of the sign; and
 3. Shall be posted five (5) feet inside the property line in a visible location on the property where the tower/antenna is to be located. If the property is located in such a spot that the sign would not be visible from the street, the sign shall be erected in another location close by that will give notice to passers-by, or at Alpine City Hall. The applicant shall be responsible to obtain permission of the property owner to erect the sign. The sign shall include the following information:
 - a. Address of location of the proposed tower, co-location, tower modification, etc.
 - b. Type of tower/antenna (e.g. monopole, roof antenna, etc.)
 - c. Date, time, and place of the public meeting at which the application will be presented to the Planning Commission.
- e. Written Information. The following written information shall be submitted:
1. Maintenance. A description of the anticipated maintenance needs for the facility, including frequency of service, personnel needs, equipment needs, and traffic noise or safety impacts of such maintenance.
 2. Service Area. A description of the service area for the antenna or tower and a statement as to whether the antenna or tower is needed for coverage or capacity.
 3. Licenses and Permits. Copies of all licenses and permits required by other agencies and governments with jurisdiction over the design, construction, location and operation of the antenna.
 4. Radio Frequency Emissions. A written commitment to comply with applicable Federal Communications Commission radio frequency emission regulations.
 5. Liaison. The name of a contact person who can respond to questions concerning the application and the proposed facility. Include name, address, telephone number, facsimile number and electronic mail address, if applicable.
2. Approval Process. The application and site plan shall be reviewed by the City pursuant to its standard site plan approval process. The City shall process all applications within a reasonable time and shall not unreasonably discriminate among providers of functionally equivalent services. Any decision to deny a request to place, construct, or modify personal wireless service facilities shall be in writing and supported by substantial evidence contained in a written record. The application and site plan will be reviewed by Planning Commission for a recommendation to City Council. The City Council shall review the application and site plan and shall act as the land use authority in approving or denying the application and site plan.

The Planning Commission may, if it deems necessary, require each application to be reviewed independently by a certified radio frequency engineer, licensed to do such work in the State of Utah. The purpose of the review is to determine if other locations are available to achieve an equivalent signal distribution and not significantly affect the operation of the telecommunications facility. Such a review may be required when an applicant indicates that no other acceptable location exists. The costs of an independent review shall be borne by the applicant.

3. Building Permits.

- a. General Requirements. No tower or antenna support structure shall be constructed until the applicant obtains a building permit from the City. No building permit shall be issued for any project for which a site plan or amended site plan is required, until the site plan or amended site plan has been approved by the appropriate authority. If the design or engineering of the antenna support structure is beyond the expertise of the Building Official, the City may require third party review by an engineer selected by the City prior to the issuance of a building permit. The applicant shall pay an additional fee to cover the cost of the third party review.
- b. Additional Requirements for New Towers. If the applicant is constructing a new tower, the applicant shall, if requested by the City, submit a written report from a qualified structural engineer licensed in the State of Utah, documenting the following:
 1. Height and design of the new tower, including technical, engineering, economic, and other pertinent factors governing selection of the proposed design.
 2. Seismic load design and wind load design for the new tower.
 3. Total anticipated capacity of the new tower, including number and types of antennas which can be accommodated.
 4. Structural failure characteristics of the new tower and a demonstration that the site and setbacks are adequate size to contain debris.
 5. Soil investigation report, including structural calculations.

3.27.4 SAFETY

1. Regulation Compliance.
 - a. Compliance with FCC and FAA Regulations. All operators of personal wireless services facilities shall demonstrate compliance with applicable Federal Communication Commission (FCC) and Federal Aviation Administration (FAA) regulations, including FCC radio frequency regulations, at the time of application and periodically thereafter as requested by the City. Failure to comply with the applicable regulations shall be grounds for revoking a site plan.
 - b. Other Licenses and Permits. The operator of every personal wireless services facility shall submit copies of all licenses and permits required by other agencies and governments with the jurisdiction over the design, construction, location and operation of the facility to the City, shall maintain such licenses and permits in good standing, and shall provide evidence of renewal or extension thereof upon request by the City.
2. Protection Against Climbing. Towers shall be protected against unauthorized climbing by removing the climbing pegs from the lower 20 feet of the towers.
3. Fencing. Towers shall be fully enclosed by a minimum 6-foot tall fence or wall, as directed by the City, unless the City determines that a wall or fence is not needed or appropriate for a particular site due to conditions specific to the site.

4. Security Lighting Requirement. Towers shall comply with the FAA requirements for lighting. The City may also require security lighting for the site. If security lighting is used, the lighting impact on surrounding residential areas shall be minimized by using indirect lighting, where appropriate.
5. Emergency. The City shall have the authority to move or alter a personal wireless services facility in case of emergency. Before taking any such action, the City shall first notify the owner of the facility, if feasible.

3.27.5 ADDITIONAL REQUIREMENTS

1. Regulations for Accessory Structures.
 - a. Storage Areas and Solid Waste Receptacles. No outside storage or solid waste receptacles shall be permitted on site.
 - b. Equipment Enclosures. All electronic and other related equipment and appurtenances necessary for the operation of any personal wireless services facility shall, whenever possible, be located within a lawfully pre-existing structure or completely below grade. When a new structure is required to house such equipment, the structure shall be harmonious with, and blend with, the natural features, buildings and structures surrounding such structure.
 - c. Accessory Buildings. Freestanding accessory buildings used with a personal wireless services facility shall not exceed 450 square feet and shall comply with the setback requirements for structures in the zone in which the facility is located.
2. Parking. The City may require a minimum of one (1) parking stall for sites containing a personal wireless services facility and/or accessory buildings, if there is insufficient parking available on the site.
3. Maintenance Requirements. All personal wireless services facilities shall be maintained in a safe, neat, and attractive manner.
4. Landscaping. A landscaping plan shall be submitted to the Planning Commission who will make a recommendation to the City Council who will approve the landscape plan.
5. Site Restoration Upon Abandonment. All sites shall be restored to the original configuration upon abandonment.
6. Fencing. The City will determine the type of fencing used on wireless telecommunications sites on a case by case basis. In the case of the Rodeo Grounds, the fencing shall match the existing fencing. Fencing will recommend by the Planning Commission and approved by the City Council.
7. Color and material standards. The City shall make an administrative decision as to the color. To the extent the personal wireless services facilities extend above the height of the vegetation immediately surround it, they shall be painted in a nonreflective light gray, light blue or other hue, which blends with the skyline and horizon or a brown to blend in with the surrounding hillside.
8. Facility Lighting and Signage Standards. Facility lighting shall be designed so as to meet but not exceed minimum requirements for security, safety and/or FAA regulations. Lighting of antennas or support structures shall be prohibited unless required by the FAA and no other alternatives are available. In all instances, the lighting shall be designed so as to avoid glare and minimize illumination on adjacent properties. Lighting shall also comply with any applicable City lighting standards.
9. Facility Signs. Signs shall be limited to those needed to identify the numbers to contact in an emergency, public safety warnings, certifications or other required seals. These signs shall also comply with the requirements of the City's sign regulations.
10. Utility Lines. All utility lines serving new cell towers shall be located underground.
11. Business License. Each facility shall be considered as a separate use; and an annual business license shall be required for each facility.

ALPINE CITY COUNCIL AGENDA

SUBJECT: Wood Acres Estates Minor Subdivision

FOR CONSIDERATION ON: 8 November 2016

PETITIONER: Steve McArthur

ACTION REQUESTED BY PETITIONER: Approve the Minor Subdivision

APPLICABLE STATUTE OR ORDINANCE: Article 4.5 (Minor Subdivision)

PETITION IN COMPLIANCE WITH ORDINANCE: Yes

BACKGROUND INFORMATION:

The proposed Wood Acres Estates minor subdivision consists of 3 lots on 5.49 acres. The development is located in the CR-40,000 zone on the corner of Westfield Road and Sunrise Drive. There are two existing homes on the property and property lines are being altered to gain a third buildable lot.

PLANNING COMMISSION RECOMMENDATION:

MOTION: David Fotheringham moved to recommend to the City Council approval of the proposed Wood Acres Estates Minor Subdivision with the following conditions:

1. The Developer works with staff to submit a plan for supplying pressurized irrigation service to Lot 2.
2. The Developer meets the water policy.
3. The Developer provided a cost estimate and bond for the construction of public infrastructure.

Jane Griener seconded the motion. The motion passed with 6 Ayes and 0 Nays. Bryce Higbee, Jason Thelin, David Fotheringham, Steve Cosper, Jane Griener, and Carl Merrill all voted Aye.

October 18, 2016

Dear Property Owner,

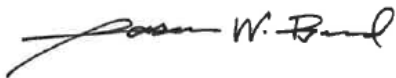
You have been identified as owning property within 300 feet of the boundaries of a proposed subdivision (Wood Acres Estates Minor Subdivision) located at 720 Westfield Road. This letter is to inform you that Steve McArthur has made an application for a 3 lot single-family residential subdivision on 5.49 acres. The lots range in size from 40,000 square feet to 129,519 square feet. The site is located in the CR-40,000 zone.

A copy of the proposed plan is enclosed and is also available at City Hall. The development is governed by Alpine City Zoning and Subdivision Ordinances and applicable state and federal laws and regulations.

The Planning Commission will hold a public meeting on Tuesday, November 1, 2016. The public meeting will be at 7:00 pm and is held at Alpine City Hall, 20 North Main Street in Alpine, Utah. The proposal will be presented to the Planning Commission that evening as an agenda item.

The public is invited to attend all Planning Commission meetings.

Sincerely,



Jason Bond
City Planner
(801) 756-6347 x 6
jbond@alpinecity.org





Date: September 30, 2016

By: Jed Muhlestein, P.E. *[Signature]*
Assistant City Engineer

Subject: **Wood Acres Estates Subdivision – ENGINEER’S MINOR SUB. REVIEW**
3 Lots on 5.49 Acres, CR 40,000 Zone

ENGINEERING REVIEW

This is the engineering review for the proposed Wood Acres Estates minor subdivision. The proposed development consists of 3 lots on 5.49 acres. The development is located in the CR 40,000 zone near Westfield Road and Sunrise Drive. A map is attached for reference showing the concept plan overlaid on existing city infrastructure. There are two existing homes on the property, property lines are being altered to gain a third buildable lot.

Street System

The subdivision will front both Westfield Road and Sunrise Drive. With curb and sidewalk currently existing per city standards, the only street system requirement is a small portion of property needs to be deeded to the city to complete the right-of-way. This is shown on the plan.

Utilities

Sewer System. There is an existing sewer system in both Sunrise Drive and Westfield Road. The two existing lots are currently connected. Lot 2 would be required to install a new 4-inch lateral off the Sunrise Drive main line.

Culinary Water System. The subdivision is well below the 5350 foot elevation, which is the highest elevation the existing water system can serve and still provide a minimum 40 psi required by ordinance. A ¾-inch water meter service would be required to be installed for Lot 2. There is currently a 6-inch waterline in Sunrise Drive that a water service could connect to. The Fire Marshall has approved the location of existing hydrants for the development.

Pressurized Irrigation System. There is a pressurized irrigation main in Westfield Road that is serving the two existing homes but there is not a main line in Sunrise Drive to serve Lot 2. A new 2-inch main line will need to be installed off the 6-inch main in Blue Spruce Drive to service Lot 2. The Developer will be required to work with Staff to provide a plan for the construction of the new main line. A 1-inch lateral will be required to be installed for Lot 2.

Storm Water Drainage System. Where no new roads are being developed the only

storm drain requirements for the development will be taken care of during the building permit process of Lot 2.

General Subdivision Remarks

The property is not located within any of the sensitive areas as outlined in the city planning maps. A geotechnical report is recommended for the residential foundation design of Lot 2, but not required as part of the approval process.

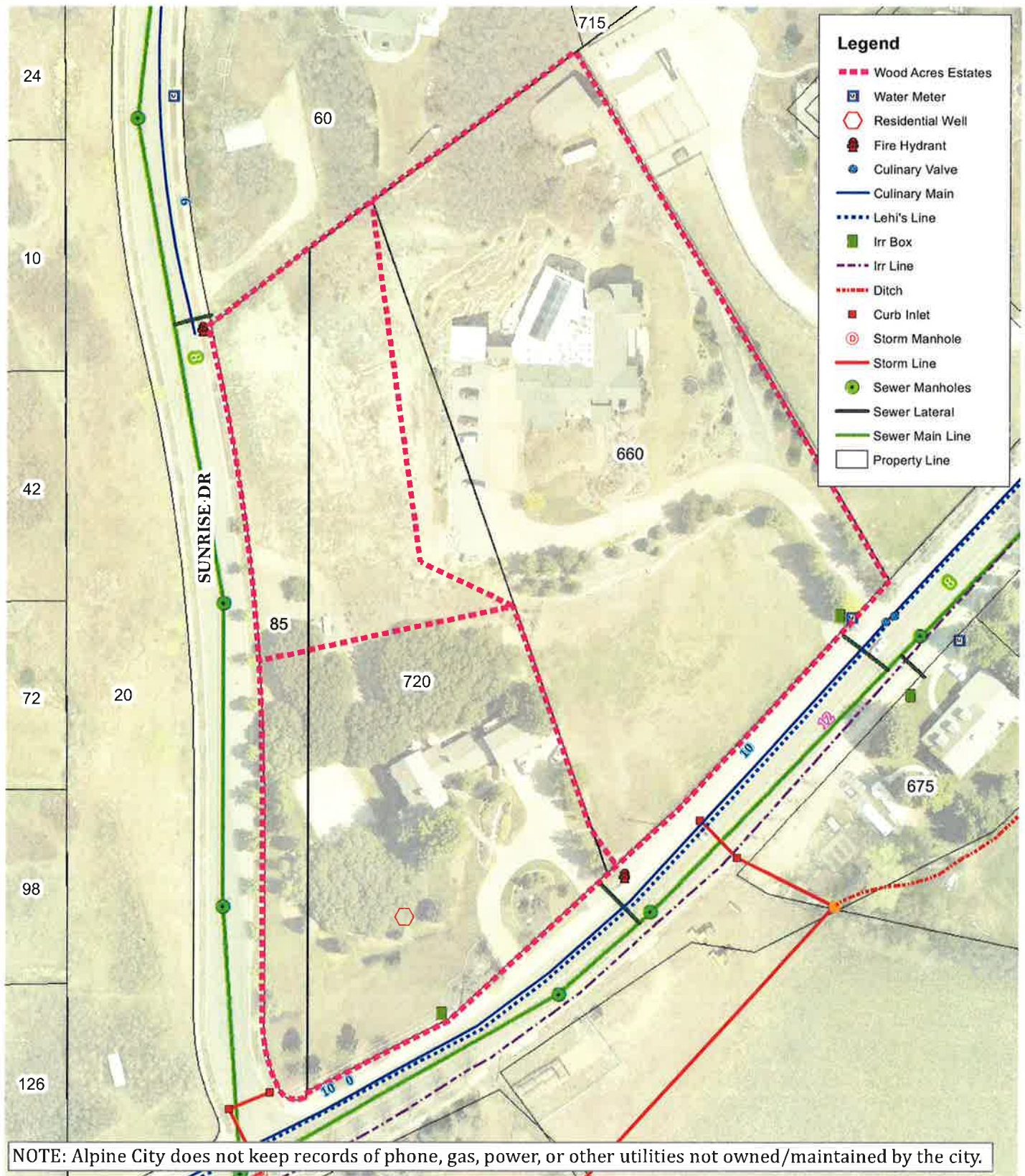
The water policy will need to be met for the development.

The Developer will need to provide a construction cost estimate for bonding of public infrastructure needed.

ENGINEERING RECOMENDATION

Engineering recommends Approval of the development with the following conditions:

- **The Developer works with Staff to submit a plan for supplying pressurized irrigation service to Lot 2**
- **The Developer meets the Water Policy**
- **The Developer provides a cost estimate and bond for the construction of public infrastructure**



Property Boundaries and Utilities are shown for reference only. Though shown generally close, a survey and Blue Stake should be done to locate both accurately.



Alpine Utilites

1 inch = 100 feet

0 30 60 120 180 240 Feet





September 30, 2016

Jason Bond, City Planner
Alpine City
20 North Main
Alpine, Utah 84004

Subject: Wood Acres Estates Water Requirement
3 lots on 5.49 acres

Dear Jason:

We have calculated the water requirement for Wood Acres Estates. The subdivision consists of 3 lots on 5.49 acres. Two of the lots are existing and a water policy credit of 8.95 ac-ft will be applied for the existing lots. The new policy would require a total of 10.47 ac-ft before the credit is applied.

The developer will be required to provide the difference of the two amounts which is **1.51** acre-feet of water to meet the water policy for the development.

Please contact me if you have any questions.

Sincerely,
ALPINE CITY

A handwritten signature in blue ink, appearing to read "J. Muhlestein", is written over the printed name.

Jed Muhlestein, P.E.
Assistant City Engineer

cc: File
Developer

Alpine City Engineering
20 North Main
Alpine, Utah 84004



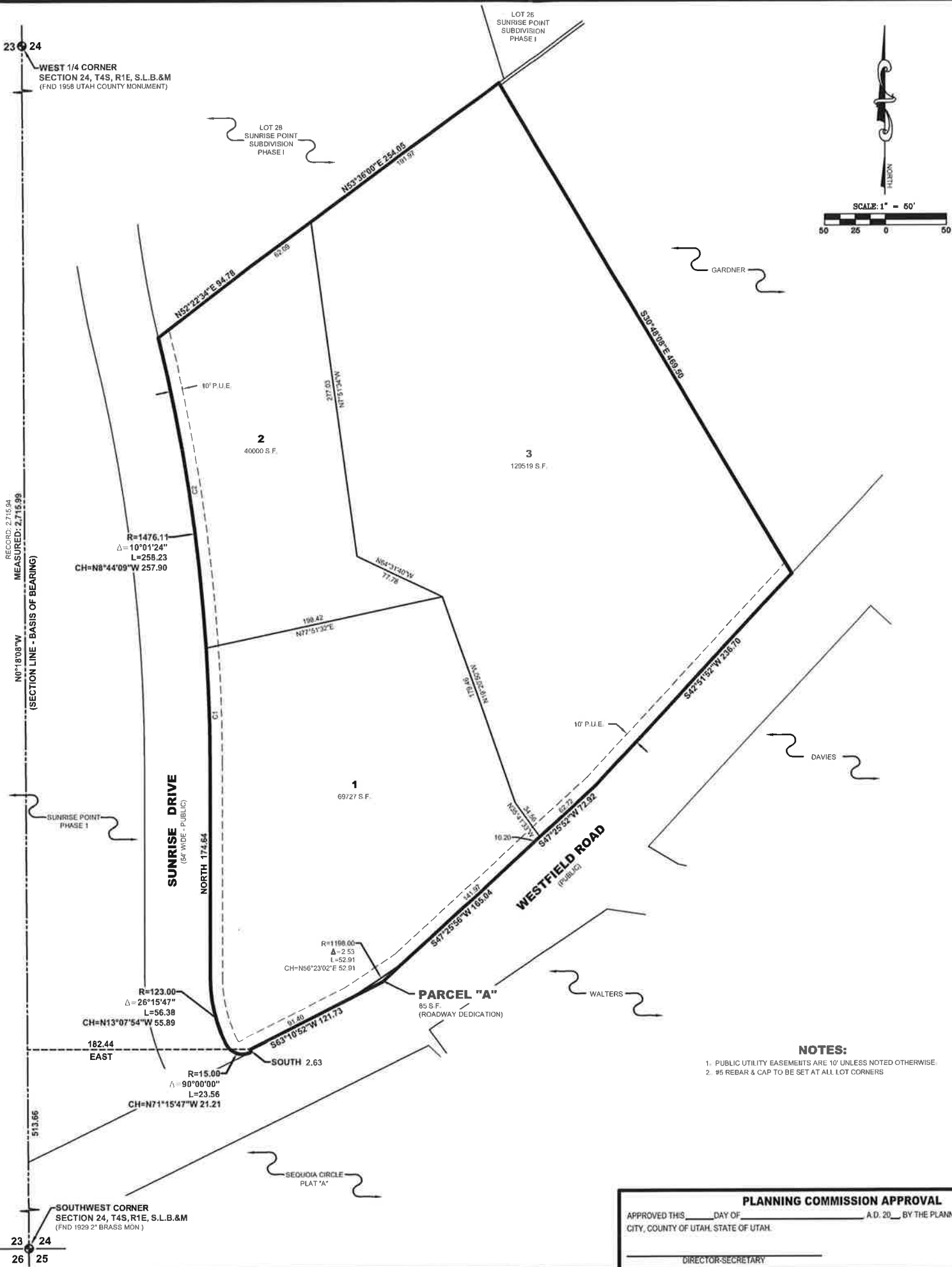
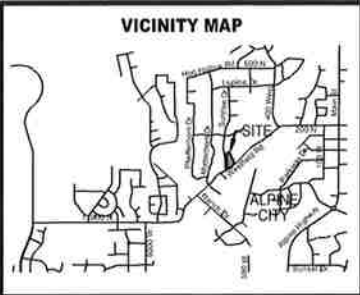
Water Requirements
Wood Acres Estates
 September 30, 2016

Proposed Development

Lot 1	69727	0.45	2.66	3.11	
Lot 2	40000	0.45	1.52	1.97	
Lot 3	129519	0.45	4.94	5.39	
			Required	10.47	ac-ft

Existing Lots of record

Lot	Area (sf)	Indoor Requirement	Outdoor Requirement	Total	
720 W (Lot 1)	91,360	0.45	3.48	3.93	
660 W (Lot 3)	119,997	0.45	4.57	5.02	
			Credit	8.95	ac-ft
			Total Required	1.51	ac-ft



CURVE TABLE				
CURVE	RADIUS	DELTA	LENGTH	CHORD
C1	1476.11	3°43'27"	95.94	N1°51'44"W 95.93
C2	1476.11	10°01'24"	258.23	N8°44'09"W 257.90

TABULATIONS	
TOTAL AREA:	5.49 ACRES
LOTS:	3
ZONE:	CR-40,000

ADDRESS TABLE	
LOT 1	720 WEST WESTFIELD ROAD
LOT 2	85 SOUTH SUNRISE DRIVE
LOT 3	660 WEST WESTFIELD ROAD



OWNERS
ALAN WOOD
720 WEST FIELD ROAD
ALPINE, UT 84004
TAIGE BYBEE
660 WEST FIELD ROAD
ALPINE, UT 84004

SURVEYOR'S CERTIFICATE
I, RYAN W. HALL, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR, AND THAT I HOLD CERTIFICATE NO. 6310734 IN ACCORDANCE WITH TITLE 58, CHAPTER 22, OF UTAH STATE CODE. I FURTHER CERTIFY BY AUTHORITY OF THE OWNER(S), THAT I HAVE COMPLETED A SURVEY OF THE PROPERTY DESCRIBED ON THIS PLAT IN ACCORDANCE WITH SECTION 17-23-17, OF SAID CODE, AND HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS, BLOCKS, STREETS, AND EASEMENTS, AND THE SAME HAS, OR WILL BE, CORRECTLY SURVEYED, STAKED, AND MONUMENTED ON THE GROUND AS SHOWN ON THIS PLAT, AND THAT THIS PLAT IS TRUE AND CORRECT.

BOUNDARY DESCRIPTION
A PORTION OF THE SOUTHWEST 1/4 OF SECTION 24, TOWNSHIP 4 SOUTH, RANGE 1 EAST, SALT LAKE BASE & MERIDIAN, ALPINE, UTAH COUNTY, UTAH AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:
BEGINNING AT A POINT LOCATED N0°18'08"W ALONG THE SECTION LINE 513.66 FEET AND EAST 182.44 FEET FROM THE SOUTHWEST CORNER OF SECTION 24, TOWNSHIP 4 SOUTH, RANGE 1 EAST, SALT LAKE BASE & MERIDIAN; THENCE ALONG LOT 29, SUNRISE POINT SUBDIVISION, PHASE I THE FOLLOWING FIVE (5) COURSES: SOUTH 2.63 FEET; THENCE ALONG THE ARC OF A 15.00 FOOT RADIUS NON-TANGENT CURVE (RADIUS BEARS: N26°15'47"W TO THE RIGHT 23.56 FEET THROUGH A CENTRAL ANGLE OF 90°00'00" (CHORD: N71°15'47"W 21.21 FEET); THENCE ALONG THE ARC OF A 123.00 FOOT RADIUS CURVE TO THE RIGHT 56.38 FEET THROUGH A CENTRAL ANGLE OF 26°15'47" (CHORD: N13°07'54"W 55.89 FEET); THENCE NORTH 174.64 FEET; THENCE ALONG THE ARC OF A 1476.10 FOOT RADIUS CURVE TO THE LEFT 354.17 FEET THROUGH A CENTRAL ANGLE OF 13°44'51" (CHORD: N6°52'25"W 353.33 FEET) TO THE SOUTH LINE OF LOT 28, SUNRISE POINT SUBDIVISION, PHASE I; THENCE ALONG SAID LOT THE FOLLOWING TWO (2) COURSES: N52°22'34"E 94.78 FEET; THENCE N53°36'00"E 254.05 FEET TO THE WESTERLY LINE OF THAT REAL PROPERTY DESCRIBED AT ENTRY NO. 230572002 IN THE OFFICIAL RECORDS OF UTAH COUNTY; THENCE S30°48'08"E ALONG SAID LINE 469.50 FEET TO THE NORTH LINE OF WESTFIELD ROAD; THENCE ALONG SAID LINE THE FOLLOWING FOUR (4) COURSES: S42°51'52"W 236.70 FEET; THENCE S47°25'52"W 72.92 FEET; THENCE S47°25'56"W 165.04 FEET; THENCE S63°10'52"W 121.73 FEET TO THE POINT OF BEGINNING.

CONTAINS: ±5.49 ACRES

DATE _____ SURVEYOR _____
(See Seal Below)

OWNERS DEDICATION
KNOW ALL MEN BY THESE PRESENTS THAT WE, ALL OF THE UNDERSIGNED OWNERS OF ALL OF THE PROPERTY DESCRIBED IN THE SURVEYOR'S CERTIFICATE HEREON AND SHOWN ON THIS MAP, HAVE CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS, BLOCKS, STREETS AND EASEMENTS AND DO HEREBY DEDICATE THE STREETS, EASEMENTS AND OTHER PUBLIC AREAS AS INDICATED HEREON FOR PERPETUAL USE OF THE PUBLIC.

IN WITNESS WHEREOF WE HAVE HEREUNTO SET OUR HANDS THIS _____ DAY OF _____, A.D. 20____

ACKNOWLEDGMENT
STATE OF UTAH _____ S.S.
COUNTY OF UTAH _____
ON THE _____ DAY OF _____, A.D. 20____, PERSONALLY APPEARED BEFORE ME _____ THE SIGNER(S) OF THE FOREGOING DEDICATION WHO DULY ACKNOWLEDGE TO ME THAT THEY DID EXECUTE THE SAME.

NOTARY PUBLIC FULL NAME: _____
COMMISSION NUMBER: _____
MY COMMISSION EXPIRES: _____
A NOTARY PUBLIC COMMISSIONED IN UTAH

ACKNOWLEDGMENT
STATE OF UTAH _____ S.S.
COUNTY OF UTAH _____
ON THE _____ DAY OF _____, A.D. 20____, PERSONALLY APPEARED BEFORE ME _____ THE SIGNER(S) OF THE FOREGOING DEDICATION WHO DULY ACKNOWLEDGE TO ME THAT THEY DID EXECUTE THE SAME.

NOTARY PUBLIC FULL NAME: _____
COMMISSION NUMBER: _____
MY COMMISSION EXPIRES: _____
A NOTARY PUBLIC COMMISSIONED IN UTAH

ACCEPTANCE BY LEGISLATIVE BODY
THE CITY COUNCIL OF ALPINE CITY, COUNTY OF UTAH, APPROVES THIS SUBDIVISION AND HEREBY ACCEPTS THE DEDICATION OF ALL STREETS, EASEMENTS, AND OTHER PARCELS OF LAND INTENDED FOR PUBLIC PURPOSES FOR THE PERPETUAL USE OF THE PUBLIC _____ THIS _____ DAY OF _____, A.D. 20____

APPROVED BY MAYOR _____

APPROVED _____ ENGINEER _____ ATTEST _____ CLERK-RECORDER _____
(See Seal Below) (See Seal Below)

PLAT "A"

WOOD ACRES ESTATES

SUBDIVISION
(INCLUDES A VACATION OF LOT 29, SUNRISE POINT SUBDIVISION, PHASE I)

ALPINE UTAH COUNTY, UTAH

SCALE: 1" = 50'

SURVEYOR'S SEAL	NOTARY PUBLIC SEAL	CITY-COUNTY ENGINEER SEAL	COUNTY-RECORDER SEAL
-----------------	--------------------	---------------------------	----------------------

DATE: 7-14-2016

PLANNING COMMISSION APPROVAL
APPROVED THIS _____ DAY OF _____, A.D. 20____ BY THE PLANNING COMMISSION OF ALPINE CITY, COUNTY OF UTAH, STATE OF UTAH.

DIRECTOR-SECRETARY _____

This form approved by Utah County and the municipalities therein.

ALPINE CITY COUNCIL AGENDA

SUBJECT: White Pine Estates Final Plat

FOR CONSIDERATION ON: 8 November 2016

PETITIONER: Ivory Homes

ACTION REQUESTED BY PETITIONER: Approve the Final Plat

APPLICABLE STATUTE OR ORDINANCE: Article 4.6 (Major Subdivision)

PETITION IN COMPLIANCE WITH ORDINANCE: Yes

BACKGROUND INFORMATION:

The proposed White Pine Estates, formerly known as the Lone Pine Estates and Walters Subdivision, consists of 9 lots in 5.68 acres. There is an existing home on one of the proposed lots. The property is located at 615 East 300 North and is in the CR 20,000 zone.

PLANNING COMMISSION RECOMMENDATION:

MOTION: Jane Griener moved to recommend to the City Council approval of the proposed White Pine Estates Final Plat with the following conditions:

1. The Developer meet the water policy and provide a construction cost estimate prior to the recordation of the plat.
2. The Developer correct the minor redlines before City Council approval.

David Fotheringham seconded the motion. The motion passed with 6 Ayes and 0 Nays. Bryce Higbee, Jason Thelin, David Fotheringham, Steve Cosper, Jane Griener, and Carl Merrill all voted Aye



Date: October 21, 2016

By: Jed Muhlestein, P.E. 
Assistant City Engineer

Subject: **White Pine Estates – ENGINEER’S FINAL REVIEW**
9 Lots on 5.68 Acres, CR 20,000 Zone

ENGINEERING REVIEW

This is the Final engineering review for the proposed White Pine Estates. The proposed development consists of 9 lots including an existing home. The development is located in the CR 20,000 zone at 615 East 300 North.

Street System

The street system was reviewed at Preliminary and found to be compliant with code. The property to be developed fronts both 300 North and Bristol Court. Frontage improvements consisting of street widening, curb, gutter, and sidewalk are shown on both streets. Street right-of-way is shown to meet the typical 54-foot standard street cross-section.

Utilities

A detailed utility plan has previously been submitted and reviewed to be compliant with code. It is summarized below:

Sewer System. There are existing 8-inch sewer lines in 300 North and Bristol Court that are shown to serve the development. Lot 101 is shown to have sewer service off the line in Bristol Court and the cul-de-sac shows an extension of the 300 North sewer system for service. 4-inch sewer laterals are shown for each new lot.

Culinary Water System. The subdivision is well below the 5350 foot elevation, which is the highest elevation the existing water system can serve and still provide a minimum 40 psi required by ordinance. There are currently 8-inch water lines in both streets to which the property fronts. A new 8-inch waterline is shown for the cul-de-sac. The Fire Marshall has approved the location of proposed fire hydrant at the end of the cul-de-sac. 3/4-inch water laterals are shown to be constructed for each new lot.

Pressurized Irrigation System. There is currently a 10-inch pressurized irrigation line in 300 North which the cul-de-sac is shown to connect to via a new 6-inch main. This line is high in pressure which would require pressure reducing valves (PRV's) to be installed in the

pressurized irrigation connection boxes. Lots 103 thru 109 will all require PRV's, details for that are shown on the plans. Lot 101 would not require a PRV as the line in Bristol Court operates at a more common pressure for outdoor use. 1-inch laterals are shown for each new lot.

Storm Water Drainage System. Storm drainage detention of the 50-year event is shown for the development. It is proposed such that it could discharge to Dry Creek. Storm drain calculations have been submitted with the proposal and are approved.

General Subdivision Remarks

The property is not located within any of the sensitive areas as outlined in the city planning maps. A geotechnical report has been submitted and reviewed. As has been typical of other locations in town, collapsible clay was discovered at the site. It is recommended that no building foundations or roadways be built on this material. Where present, the clay will need to be removed and structural fill used in its place.

The Developer will need to meet the water policy and provide a construction cost estimate prior to recordation of the plat.

There are some minor redlines to correct before City Council approval.

ENGINEERING RECOMENDATION

We recommend that Final Approval of the proposed development be approved with the following condition(s):

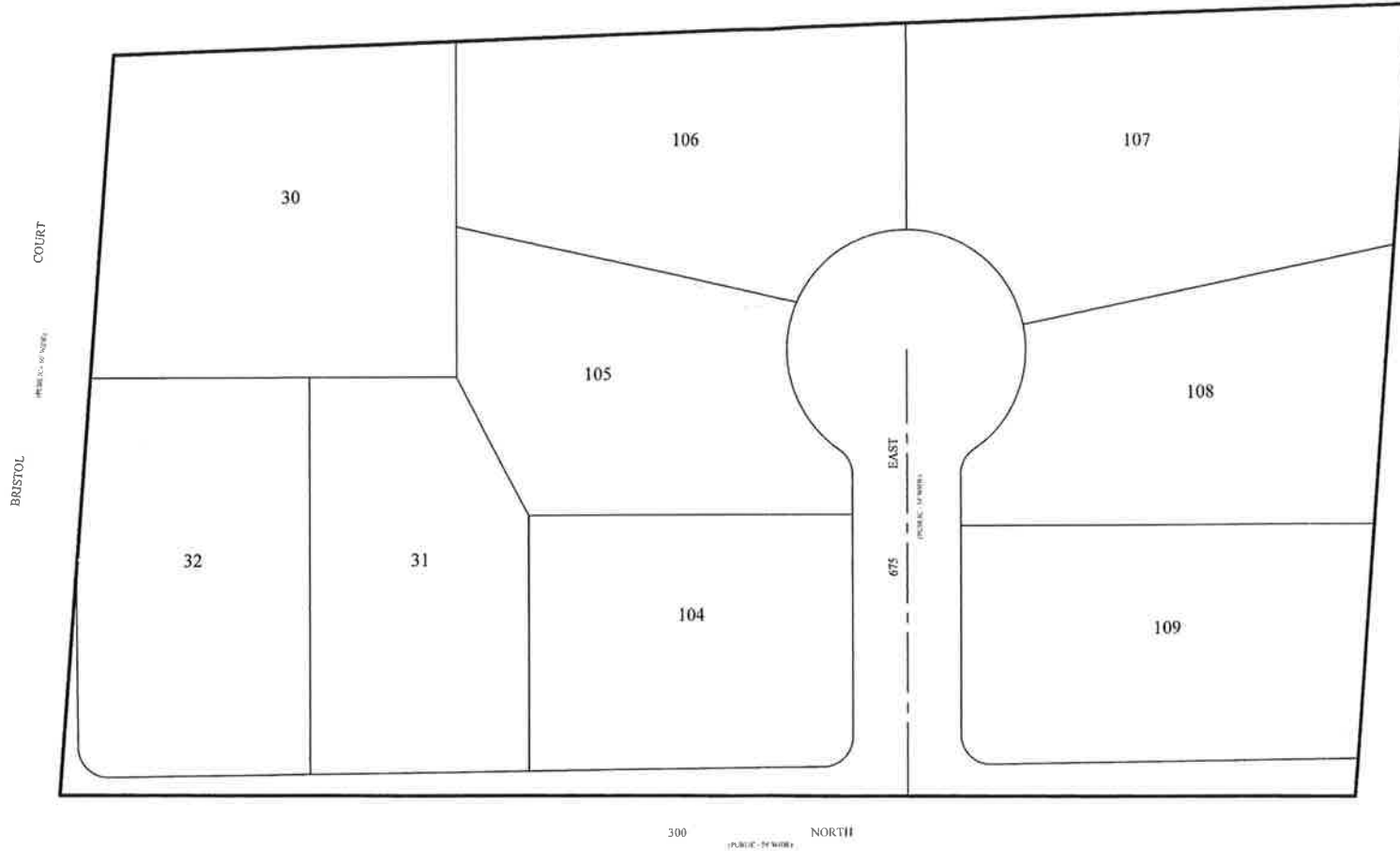
- **The Developer meet the water policy and provide a construction cost estimate prior to the recordation of the plat**
- **The Developer correct the minor redlines before City Council approval**



VICINITY MAP
NTS

WHITE PINE ESTATES

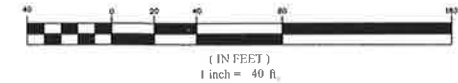
PREPARED FOR:
IVORY HOMES
LOCATED IN:
ALPINE CITY, UTAH



SITE MAP



GRAPHIC SCALE



Sheet List Table

Sheet Number	Sheet Title
C1	COVER SHEET
C2	FINAL PLAT
C3	UTILITY PLAN
C4	GRADING AND DRAINAGE PLAN
C5	EROSION CONTROL PLAN
C6	DETAILS
C7	DETAILS
PP1	P&P - 300 NORTH - UTILITIES
PP2	P&P - 675 EAST
PP3	P&P - 300 NORTH - TBC
PP4	P&P - POND SECTION
PP5	P&P - POND CROSS SECTION



PRELIMINARY
WHITE PINE ESTATES
ALPINE CITY
COVER SHEET

RECEIVED OCT 24 2016

GENERAL NOTES

- CONTRACTOR TO FIELD VERIFY HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO COMMENCEMENT OF CONSTRUCTION, AND REPORT ANY DISCREPANCIES TO THE ENGINEER.
- ANY AND ALL DISCREPANCIES IN THESE PLANS ARE TO BE BROUGHT TO THE ENGINEER'S ATTENTION PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- ALL CONSTRUCTION SHALL ADHERE TO ALPINE CITY STANDARD PLANS STANDARDS AND SPECIFICATIONS.
- ALL UTILITIES AND ROAD IMPROVEMENTS SHOWN ON THE PLANS HEREIN SHALL BE CONSTRUCTED USING REFERENCE TO SURVEY CONSTRUCTION STAKES PLACED UNDER THE SUPERVISION OF A PROFESSIONAL LICENSED SURVEYOR WITH A CURRENT LICENSE ISSUED BY THE STATE OF UTAH. ANY IMPROVEMENTS INSTALLED BY ANY OTHER VERTICAL OR HORIZONTAL REFERENCE WILL NOT BE ACCEPTED OR CERTIFIED BY THE ENGINEER OF RECORD.

NOTICE

BEFORE PROCEEDING WITH THIS WORK, THE CONTRACTOR SHALL CAREFULLY CHECK AND VERIFY ALL CONDITIONS, QUANTITIES, DIMENSIONS, AND GRADE ELEVATIONS, AND SHALL REPORT ALL DISCREPANCIES TO THE ENGINEER.

ENGINEER'S NOTES TO CONTRACTOR

- THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITY PIPES, CONDUITS OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED BY A SEARCH OF THE AVAILABLE RECORDS, TO THE BEST OF OUR KNOWLEDGE, THERE ARE NO EXISTING UTILITIES EXCEPT AS SHOWN ON THESE PLANS. THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITY LINES SHOWN ON THESE DRAWINGS. THE CONTRACTOR FURTHER ASSUMES ALL LIABILITY AND RESPONSIBILITY FOR THE UTILITY PIPES, CONDUITS OR STRUCTURES SHOWN OR NOT SHOWN ON THESE DRAWINGS. IF UTILITY LINES ARE ENCOUNTERED DURING CONSTRUCTION THAT ARE NOT IDENTIFIED BY THESE PLANS, CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY.
- CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE CITY, THE OWNER, AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.
- UNAUTHORIZED CHANGES & USES: THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THESE PLANS.
- ALL CONTOUR LINES SHOWN ON THE PLANS ARE AN INTERPRETATION BY CAD SOFTWARE OF FIELD SURVEY WORK PERFORMED BY A LICENSED SURVEYOR. DUE TO THE POTENTIAL DIFFERENCES IN INTERPRETATION OF CONTOURS BY VARIOUS TYPES OF GRADING SOFTWARE BY OTHER ENGINEERS OR CONTRACTORS, FOCUS DOES NOT GUARANTEE OR WARRANTY THE ACCURACY OF SUCH LINEWORK. FOR THIS REASON, FOCUS WILL NOT PROVIDE ANY GRADING CONTOURS IN CAD FOR ANY TYPE OF USE BY THE CONTRACTOR. SPOT ELEVATIONS AND PROFILE ELEVATIONS SHOWN IN THE DESIGN DRAWINGS GOVERN ALL DESIGN INFORMATION ILLUSTRATED ON THE APPROVED CONSTRUCTION SET. CONSTRUCTION EXPERTISE AND JUDGMENT BY THE CONTRACTOR IS ANTICIPATED BY THE ENGINEER TO COMPLETE BUILD-OUT OF THE INTENDED IMPROVEMENTS.

CONTACTS

ENGINEER & SURVEYOR
FOCUS ENGINEERING & SURVEYING
32 WEST CENTER STREET
MIDVALE, UTAH 84047
(801) 352-0075
CONTACT: JASON BARKER

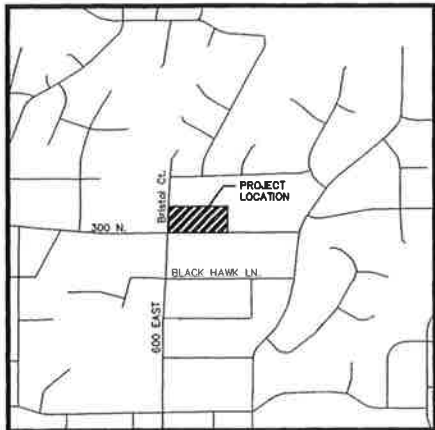
OWNER/DEVELOPER
IVORY DEVELOPMENT
978 WOOD OAK LANE
SALT LAKE CITY, UTAH 84117
(801) 520-9155
CONTACT: BRYON PRINCE



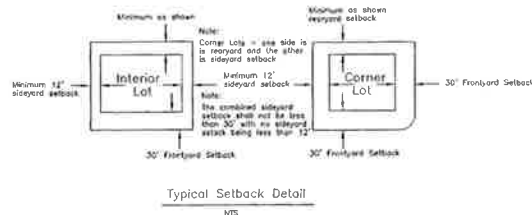
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Date: 10/24/2016 Job #: 16-034
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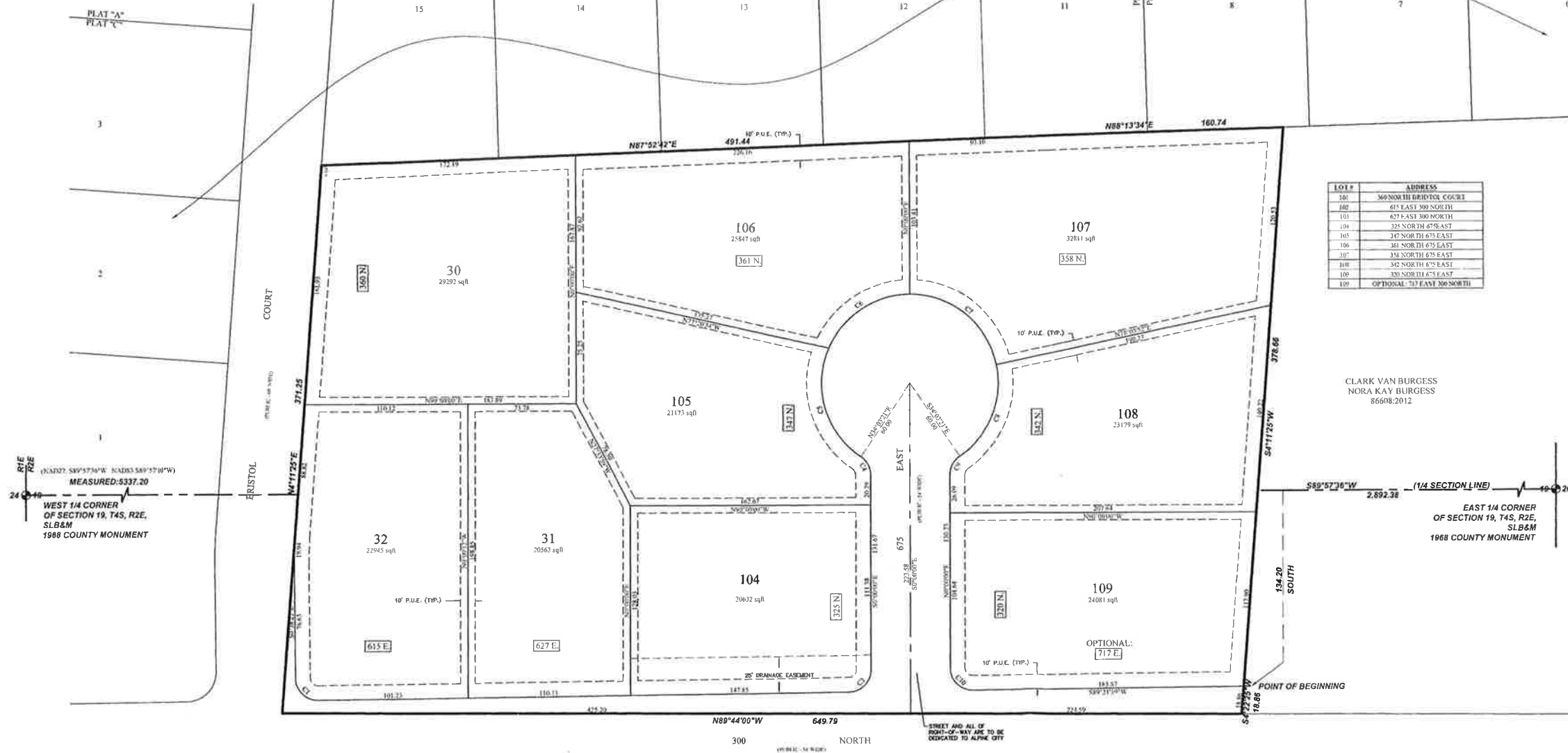
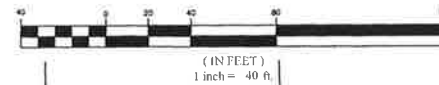
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VICINITY MAP
N.T.S.



GRAPHIC SCALE

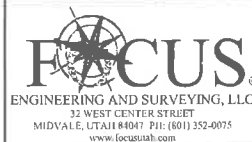


LOT #	ADDRESS
101	360 NORTH BRISTOL COURT
102	615 EAST 300 NORTH
103	627 EAST 300 NORTH
104	325 NORTH 675 EAST
105	247 NORTH 675 EAST
106	361 NORTH 675 EAST
107	335 NORTH 675 EAST
108	342 NORTH 675 EAST
109	330 NORTH 675 EAST
110	OPTIONAL: 717 EAST 300 NORTH

Curve Table					
CURVE	RADIUS	DELTA	LENGTH	CHORD DIRECTION	CHORD LENGTH
C1	15.00	90°00'00"	23.56	S45°38'21"E	31.21
C3	15.00	89°21'39"	23.39	S44°40'50"W	21.09
C4	15.00	55°56'39"	14.65	S27°58'20"E	14.07
C5	60.00	79°31'53"	83.29	S16°10'43"E	76.76
C6	60.00	66°24'46"	69.55	S56°47'37"W	65.72
C7	60.00	78°05'52"	81.78	N59°57'04"W	75.60
C8	60.00	67°50'47"	71.95	S22°01'16"E	66.97
C9	15.00	55°56'39"	14.65	S27°58'20"E	14.07
C10	15.00	90°38'21"	23.72	N85°19'11"W	21.33

NOTES

- #5 REBAR & CAP (FOCUS ENG) TO BE SET AT ALL LOT CORNERS. NAIL/PLUG TO BE SET IN TOP BACK OF CURB AT EXTENSION OF SIDE LOT LINES.
- P.U.E. MEANS PUBLIC UTILITY EASEMENTS.
- D.E. MEANS DRAINAGE EASEMENT.
- ALPINE CITY HAS AN EASEMENT UPON A PORTION OF LOT 104 FOR STORM WATER INFRASTRUCTURE AND DETENTION BASINS AS SHOWN. THE CITY RESERVES THE RIGHT TO ENTER UPON THE PROPERTY FOR MAINTENANCE, REPAIR, AND INSPECTION. THE OWNER CANNOT CHANGE THE GRADES OR USE THE PROPERTY FOR OTHER PURPOSES THAN LANDSCAPING WITHOUT THE WRITTEN APPROVAL OF THE CITY ENGINEER AND ADMINISTRATOR AND AMENDING THE LOT OF THE PLAT.
- ALL P.U.E. AREAS ARE ALSO DETENTION EASEMENT AREAS.



SURVEYOR'S CERTIFICATE

"I, Dennis P. Carlisle, do hereby certify that I am a Professional Land Surveyor, and that I hold Certificate No. 172675 in accordance with Title 58, Chapter 22 of Utah State Code. I further certify by authority of the owner(s) that I have made a Survey of the lands shown on this Plan and that it correctly represents the existing conditions as shown. This Plan does not represent a certification to the title or ownership of the lands shown hereon."

Dennis P. Carlisle
Professional Land Surveyor
Certificate No. 172675

BOUNDARY DESCRIPTION

A portion of the NW1/4 and the SW1/4 of Section 19, Township 4 South, Range 2 East, Salt Lake Base & Meridian, located in Alpine, Utah, more particularly described as follows:
Beginning at a point located S89°57'36"W along the 1/4 Section line 2,892.38 feet and South 134.20 feet from the East 1/4 Corner of Section 19, T4S, R2E, S.L.B. & M.; thence S4°22'25"W 18.86 feet; thence N89°44'00"W 649.79 feet; thence along the extension of, and along the easterly and southerly lines of OAK KNOLL Subdivision the following 3 (three) courses and distances: N4°11'25"E 371.25 feet; thence N87°52'42"E 491.44 feet; thence N88°13'34"E 160.74 feet; thence S4°11'26"W 378.65 feet to the point of beginning.
Contains: 5.73+/- acres

OWNER'S DEDICATION

KNOW ALL MEN BY THESE PRESENTS THAT WE, ALL OF THE UNDERSIGNED OWNERS OF ALL OF THE PROPERTY DESCRIBED IN THE SURVEYOR'S CERTIFICATE HEREON AND SHOWN ON THIS MAP, HAVE CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS, BLOCKS, STREETS AND EASEMENTS AND DO HEREBY DEDICATE ANY PUBLIC STREETS AND OTHER PUBLIC AREAS AS INDICATED HEREON FOR PERPETUAL USE OF THE PUBLIC.

IN WITNESS WHEREOF WE HAVE HEREUNTO SET OUR HANDS THIS _____ DAY OF _____ A.D. 2016

CHRISTOPHER P. GAMVROULAS
PRESIDENT, IVORY DEVELOPMENT, LLC

ACKNOWLEDGMENT

STATE OF UTAH
S.S. _____
COUNTY OF _____

ON THE _____ DAY OF _____, 2016 PERSONALLY APPEARED BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, IN AND FOR THE COUNTY OF _____, IN SAID STATE OF UTAH, _____ THE PERSON SIGNING THE FOREGOING OWNER'S DEDICATION WHO DULY ACKNOWLEDGED TO ME THAT HE DID EXECUTE THE SAME FREELY AND VOLUNTARILY AND FOR THE USES AND PURPOSES THEREIN DESCRIBED.

MY COMMISSION EXPIRES: _____ NOTARY PUBLIC
RESIDING IN _____ COUNTY
MY COMMISSION No. _____ PRINTED FULL NAME OF NOTARY _____

ACCEPTANCE BY LEGISLATIVE BODY

THE CITY COUNCIL OF ALPINE CITY, COUNTY OF UTAH, APPROVES THIS SUBDIVISION AND HEREBY ACCEPTS THE DEDICATION OF ALL STREETS, EASEMENTS AND OTHER PARCELS OF LAND INTENDED FOR PUBLIC PURPOSES FOR THE PERPETUAL USE OF THE PUBLIC THIS _____ DAY OF _____, A.D. 2016.

APPROVED BY MAYOR _____ ATTEST: CITY RECORDER _____
APPROVED BY ENGINEER _____

PLANNING COMMISSION APPROVAL

APPROVED THIS _____ DAY OF _____, A.D. 2016,
BY THE ALPINE CITY PLANNING COMMISSION.

DIRECTOR - SECRETARY _____ CHAIRMAN, PLANNING COMMISSION _____

APPROVAL AS TO FORM

APPROVED AS TO FORM THIS _____ DAY OF _____, A.D. 20 _____

CITY ATTORNEY: _____

PLAT "A"

WHITE PINE ESTATES

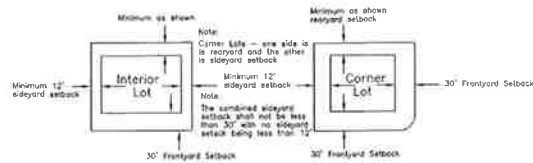
A RESIDENTIAL SUBDIVISION

ALPINE CITY, UTAH COUNTY, UTAH

SURVEYOR'S SEAL NOTARY PUBLIC SEAL ALPINE CITY ENGINEER SEAL ALPINE CITY RECORDER SEAL



VICINITY MAP
N.T.S.



Typical Setback Detail
N.T.S.



GRAPHIC SCALE



LOT #	ADDRESS
101	360 NORTH BRIDGECOURT
102	415 EAST 300 NORTH
103	427 EAST 300 NORTH
104	325 NORTH 475 EAST
105	343 NORTH 475 EAST
106	341 NORTH 475 EAST
107	338 NORTH 475 EAST
108	342 NORTH 475 EAST
109	332 NORTH 475 EAST
110	OPTIONAL - 317 EAST 300 NORTH

CLARK VAN BURGESS
NORA KAY BURGESS
86608.2012

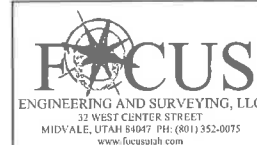
EAST 1/4 CORNER
OF SECTION 19, T4S, R2E,
SLB&M
1968 COUNTY MONUMENT

Curve Table					
CURVE	RADIUS	BEITA	LENGTH	CHORD DIRECTION	CHORD LENGTH
C1	15.00	99°00'00"	23.55	S45°38'21"E	21.21
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ARIPINE SUBDIVISION
"A"

NOTES

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- D.E. MEANS DRAINAGE EASEMENT.
- ALPINE CITY HAS AN EASEMENT UPON A PORTION OF LOT 104 FOR STORM WATER INFRASTRUCTURE AND DETENTION BASINS AS SHOWN. THE CITY RESERVES THE RIGHT TO ENTER UPON THE PROPERTY FOR MAINTENANCE, REPAIR, AND INSPECTION. THE OWNER CANNOT CHANGE THE GRADES OR USE THE PROPERTY FOR OTHER PURPOSES THAN LANDSCAPING WITHOUT THE WRITTEN APPROVAL OF THE CITY ENGINEER AND ADMINISTRATOR AND AMENDING THE LOT OF THE PLAT.
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Dennis P. Carlisle
Professional Land Surveyor
Certificate No. 172675

Date

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IN WITNESS WHEREOF WE HAVE HEREUNTO SET OUR HANDS THIS ____ DAY OF ____, A.D. 2016

CHRISTOPHER P. GAMVROULAS
PRESIDENT, IVORY DEVELOPMENT, LLC

ACKNOWLEDGMENT

STATE OF UTAH
S.S.
COUNTY OF ____

ON THE ____ DAY OF ____, 2016 PERSONALLY APPEARED BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, IN AND FOR THE COUNTY OF ____, IN SAID STATE OF UTAH, THE PERSON SIGNING THE FOREGOING OWNER'S DEDICATION WHO DULY ACKNOWLEDGED TO ME THAT HE DID EXECUTE THE SAME FREELY AND VOLUNTARILY AND FOR THE USES AND PURPOSES THEREIN DESCRIBED.

MY COMMISSION EXPIRES: ____ NOTARY PUBLIC
RESIDING IN ____ COUNTY

MY COMMISSION No. ____ PRINTED FULL NAME OF NOTARY

ACCEPTANCE BY LEGISLATIVE BODY

THE CITY COUNCIL OF ALPINE CITY, COUNTY OF UTAH, APPROVES THIS SUBDIVISION AND HEREBY ACCEPTS THE DEDICATION OF ALL STREETS, EASEMENTS AND OTHER PARCELS OF LAND INTENDED FOR PUBLIC PURPOSES FOR THE PERPETUAL USE OF THE PUBLIC THIS DAY OF ____, A.D. 2016.

APPROVED BY MAYOR ____ ATTEST: CITY RECORDER

APPROVED BY ENGINEER ____

PLANNING COMMISSION APPROVAL

APPROVED THIS ____ DAY OF ____, A.D. 2016,
BY THE ALPINE CITY PLANNING COMMISSION.

DIRECTOR - SECRETARY ____ CHAIRMAN, PLANNING COMMISSION

APPROVAL AS TO FORM

APPROVED AS TO FORM THIS ____ DAY OF ____, A.D. 20 ____

CITY ATTORNEY: ____

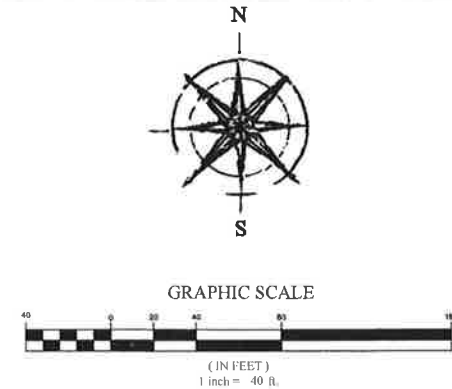
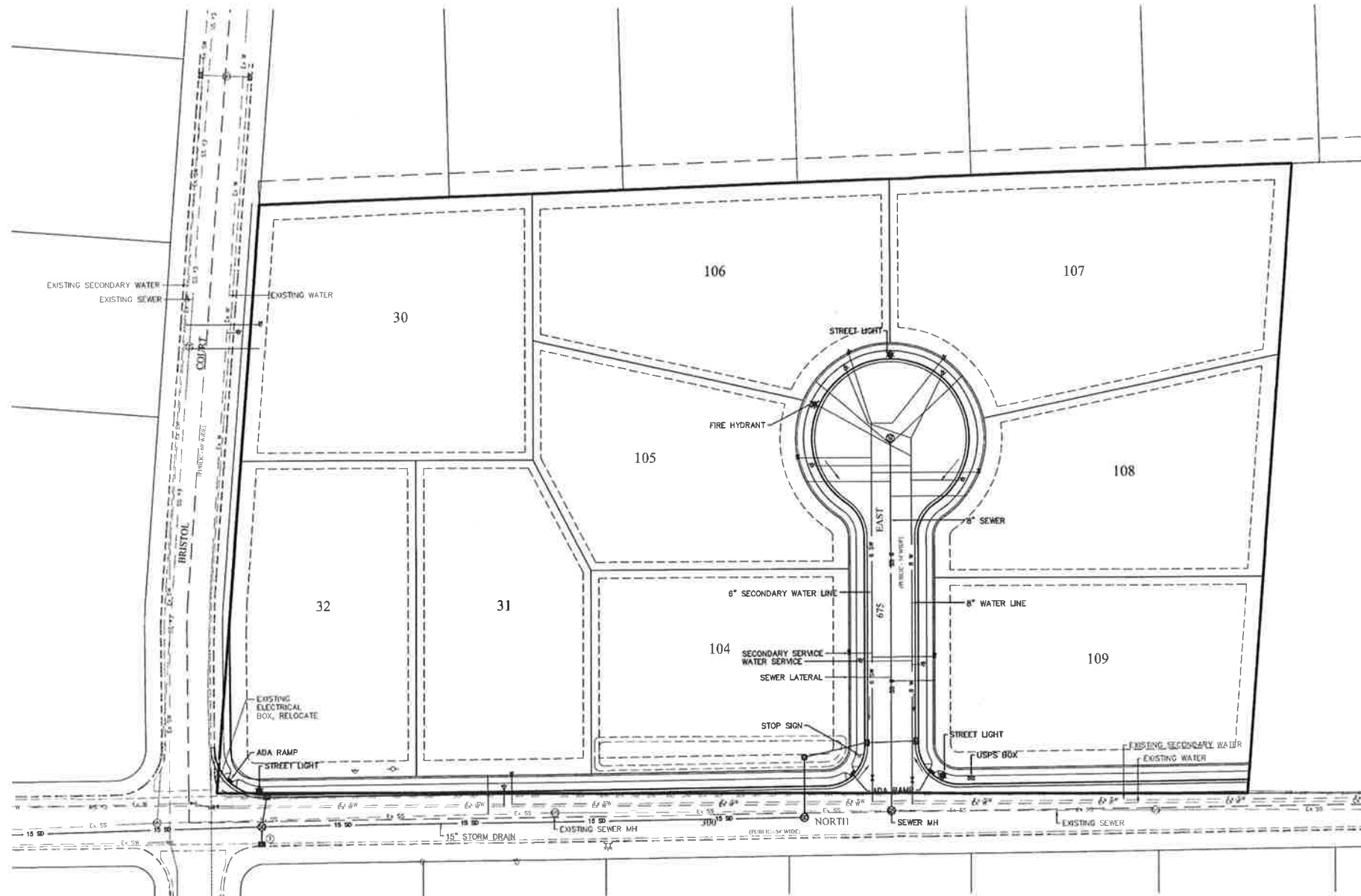
PLAT "A"

WHITE PINE ESTATES

A RESIDENTIAL SUBDIVISION

ALPINE CITY, UTAH COUNTY, UTAH

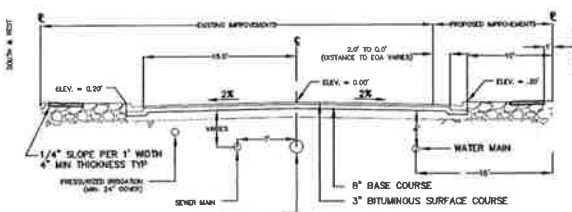
SURVEYOR'S SEAL	NOTARY PUBLIC SEAL	ALPINE CITY ENGINEER SEAL	ALPINE CITY RECORDER SEAL



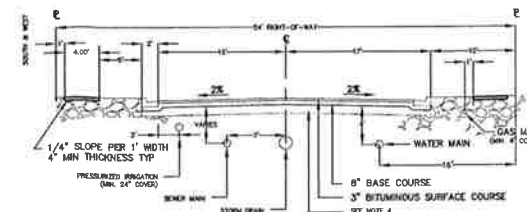
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[Symbol]	ROW
[Symbol]	CENTERLINE
[Symbol]	LOT LINE
[Symbol]	EASEMENT
[Symbol]	15" STORM DRAIN
[Symbol]	8" SANITARY SEWER
[Symbol]	8" CULINARY WATER
[Symbol]	8" SECONDARY WATER
[Symbol]	CONTOUR MAJOR
[Symbol]	CONTOUR MINOR
[Symbol]	EXIST. STORM DRAIN
[Symbol]	EXIST. SANITARY SEWER
[Symbol]	EXIST. CULINARY WATER
[Symbol]	EXIST. FENCE
[Symbol]	EXIST. CONTOUR MAJOR
[Symbol]	EXIST. CONTOUR MINOR
[Symbol]	SIGN
[Symbol]	STREET LIGHT
[Symbol]	SD M.I. INLET AND COMBO
[Symbol]	SEWER MANHOLE
[Symbol]	VALVE, TFE & BEND
[Symbol]	WATER BLOW-OFF
[Symbol]	FIRE HYDRANT
[Symbol]	STREET MONUMENT (TO BE SH)
[Symbol]	EXIST. STREET MONUMENT
[Symbol]	EXIST. SO INLET & M.I.
[Symbol]	EXIST. SEWER M.I.
[Symbol]	EXIST. VALVE, TFE, & BEND
[Symbol]	EXIST. FIRE HYDRANT
[Symbol]	SPOI ELEVATION

GENERAL NOTES

- EXISTING UTILITY SERVICES FOR THE EXISTING HOME ON LOT 102 ARE TO REMAIN IN SERVICE.
 - ANTICIPATED WATER DEMAND/SEWER DISCHARGE:
 - PEAK HOURLY SEWER OUTPUT: 1.0 TO EXISTING LINE (19 LOTS) 12.13 GAL/MIN
 - TOTAL CULINARY WATER DEMAND: 12.13 GAL/MIN
- PLEASE NOTE: 1) THESE NUMBERS WERE CALCULATED USING UTAH STATE STANDARD ASSUMPTIONS FOR CULINARY WATER USAGE (11 E 4.06 PERSONS PER UNIT), 60 GALLONS PER DAY PER CAPITA, AND A PEAKING FACTOR OF 4). 2) WE ANTICIPATE FIRE FLOW REQUIREMENT IS FOR THIS PROJECT WILL BE DETERMINED BY THE FIRE MARSHAL BASED UPON OUR LAYOUT, TYPICAL BUILDING CONSTRUCTION FOR THIS PROJECT, AND EXISTING/PROPOSED CULINARY WATER INFRASTRUCTURE FOR THIS PROJECT. 3) WE ALSO ANTICIPATE THE CULINARY WATER STORAGE AND SOURCE IS CURRENTLY ADEQUATE FOR THIS PROJECT AS THERE WERE NOT ANY ISSUES RAISED BY UTILITIES ENGINEERING STAFF DURING OUR REVIEW MEETINGS.
- LOTS 103-109 SHALL HAVE SECONDARY WATER SERVICE PER DETAIL 230 ON SHEET C6.
 - LOT 101 SHALL HAVE SECONDARY WATER SERVICE INSTALLED PER DETAIL 23A ON SHEET C6.



EXISTING AND PROPOSED STREET
CROSS-SECTIONS & UTILITY LOCATIONS
N.T.S.



STREET CROSS-SECTIONS
& UTILITY LOCATIONS
N.T.S.

- NOTES:
- WATER VALVES AND 5-INCH VALVE OPENING MUELLER FIRE HYDRANTS SHALL BE LOCATED AS APPROVED.
 - NO WATER LINE SMALLER THAN 8-INCH DIA. SHALL BE INSTALLED WITHOUT APPROVAL OF CITY COUNCIL.
 - IF SUBGRADE SOILS ARE AASHTO CLASS A-3, A-4, OR A-5, 10\"/>
 - CULINARY WATER MAINS SHALL BE ON THE NORTH AND EAST SIDES OF THE STREET. PRESSURIZED IRRIGATION AND SEWER LINES SHALL BE ON THE SOUTH AND WEST SIDES OF THE STREET.



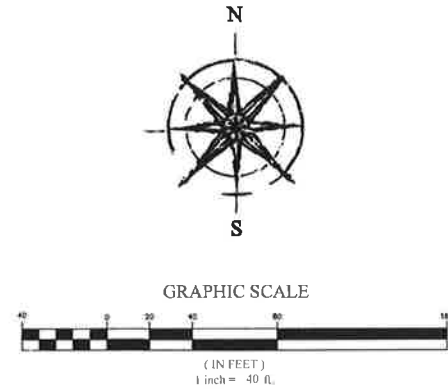
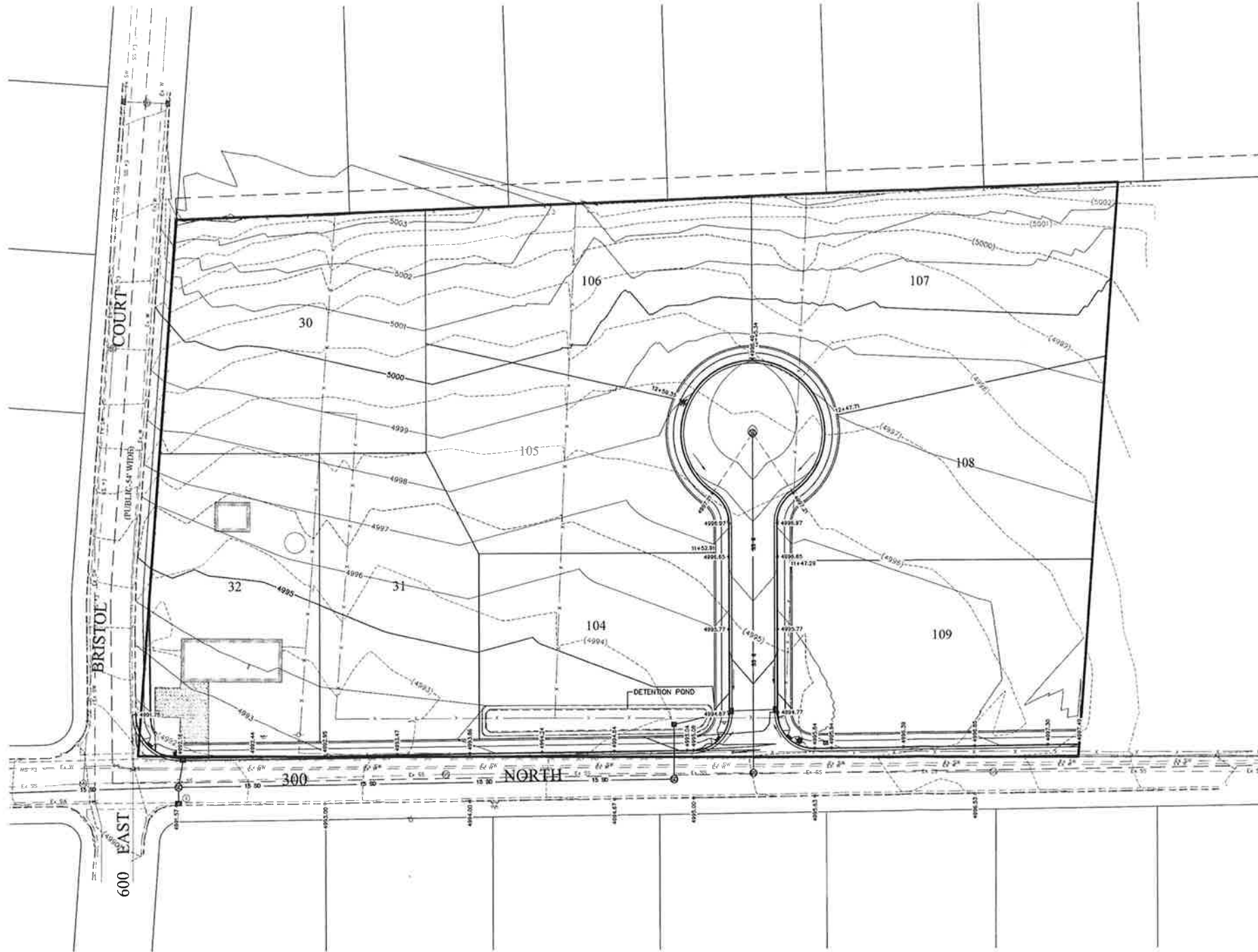
WHITE PINE ESTATES ALPINE CITY UTILITY PLAN

REVISION BLOCK	
#	DESCRIPTION
1	
2	
3	
4	
5	
6	

UTILITY PLAN

Scale: 1"=40' Drawn: JRW
Date: 10/24/2016 Job #: 16-034
Sheet: C3





LEGEND	
--- BOUNDARY	
--- ROW	
--- CENTERLINE	
--- LOT LINE	
--- EASEMENT	
15" SD	15" STORM DRAIN
8" SS	8" SANITARY SEWER
8" W	8" CULINARY WATER
8" SW	8" SECONDARY WATER
XXXX	CONTOUR MAJOR
XXXX	CONTOUR MINOR
Ex 50	EXIST. STORM DRAIN
Ex 50	EXIST. SANITARY SEWER
Ex 10	EXIST. CULINARY WATER
XXXX	EXIST. FENCE
XXXX	EXIST. CONTOUR MAJOR
XXXX	EXIST. CONTOUR MINOR
+	SIGN
+	STREET LIGHT
+	SD MANHOLE AND COMBO
+	SEWER MANHOLE
+	VALVE, TEE & BEND
+	WATER DI. ON-OFF
+	FIRE HYDRANT
+	STREET MONUMENT (TO BE SET)
+	EXIST. STREET MONUMENT
+	EXIST. SD INLET & M/I
+	EXIST. SEWER M/I
+	EXIST. VALVE, TEL. & BEND
+	EXIST. FIRE HYDRANT
+	SPOT ELEVATION

FOCUS
ENGINEERING AND SURVEYING, LLC
32 WEST CENTER STREET
MIDVALE, UTAH 84047 PH: (801) 352-0075
www.focusutah.com



WHITE PINE ESTATES ALPINE CITY GRADING AND DRAINAGE PLAN

REVISION BLOCK	
#	DESCRIPTION
1	
2	
3	
4	
5	
6	

GRADING AND DRAINAGE PLAN	
Scale: 1"=40'	Drawn: JRW
Date: 10/24/2016	Job #: 16-034
Sheet:	C4

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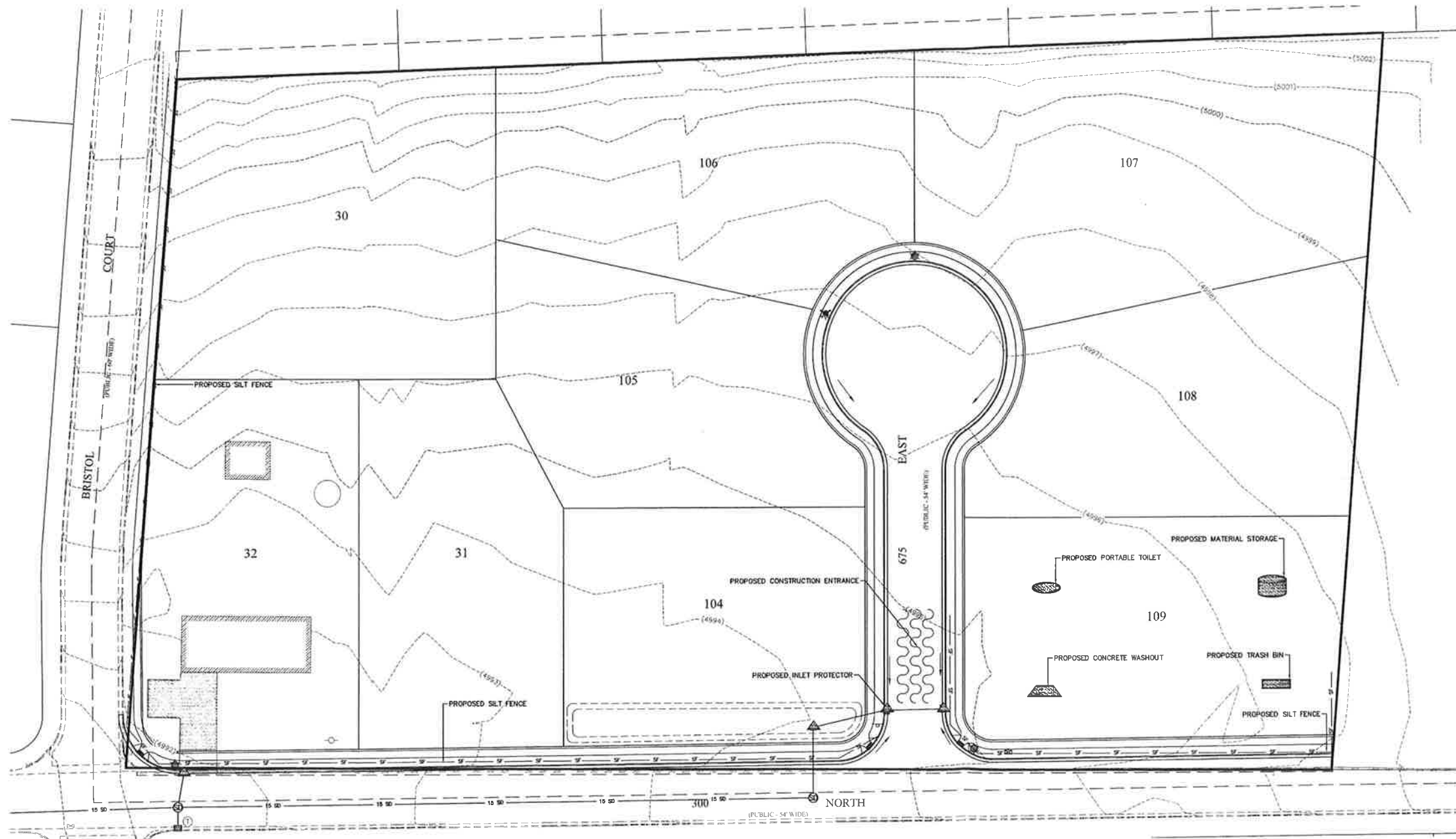
WHITE PINE ESTATES
ALPINE CITY

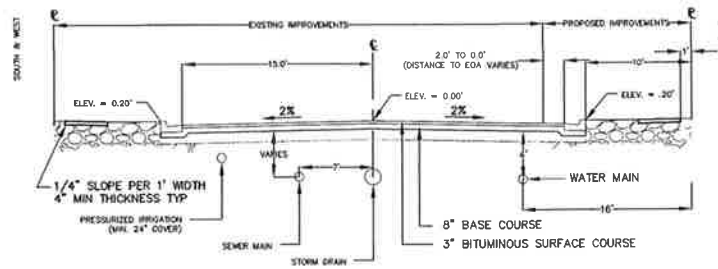
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5	10/24/01	10/24/01
6	10/24/01	10/24/01

EROSION CONTROL PLAN

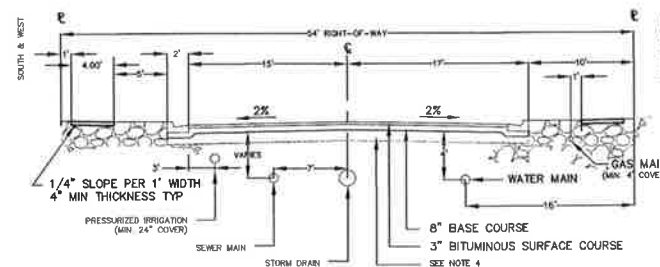
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Date: 10/24/2016	Job #: 16-034
Sheet:	

C5



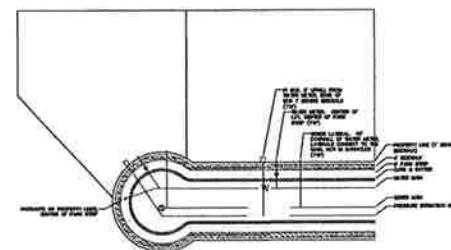


EXISTING AND PROPOSED STREET
CROSS-SECTIONS & UTILITY LOCATIONS
N.T.S.

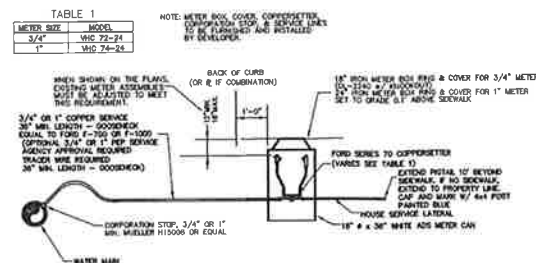


- NOTES:
1. WATER VALVES AND 5-INCH VALVE OPENING MUELLER FIRE HYDRANTS SHALL BE LOCATED AS APPROVED.
 2. NO WATER LINE SMALLER THAN 8-INCH DIA. SHALL BE INSTALLED WITHOUT APPROVAL OF CITY COUNCIL.
 3. IF SUBGRADE SOILS ARE AASHTO CLASS A-3, A-4, OR A-5, 10" OF IMPORTED A-1 SUBBASE MATERIAL WILL BE REQUIRED. FOR A-6 OR A-7 SUBGRADE SOILS, 12" OF A-1 SUBBASE MATERIAL WILL BE REQUIRED.
 4. CULINARY WATER MAINS SHALL BE ON THE NORTH AND EAST SIDES OF THE STREET. PRESSURIZED IRRIGATION AND SEWER LINES SHALL BE ON THE SOUTH AND WEST SIDES OF THE STREET.

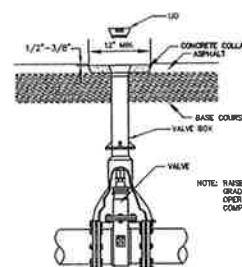
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& UTILITY LOCATIONS
N.T.S.



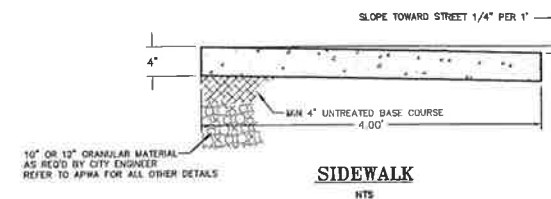
STANDARD UTILITY
SERVICE LOCATIONS
N.T.S.



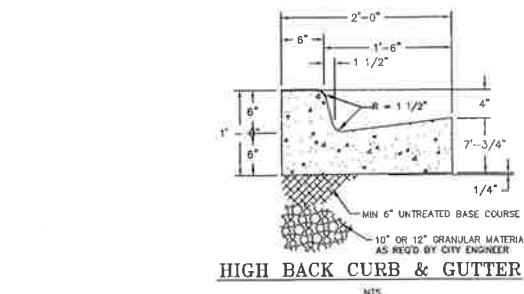
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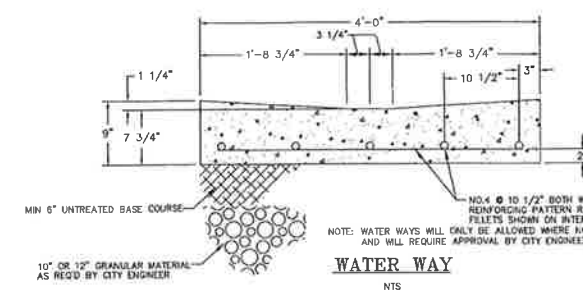
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N.T.S.



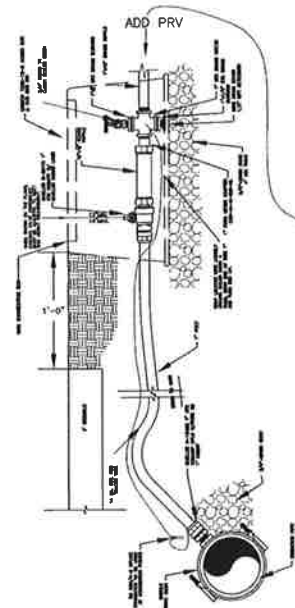
SIDEWALK
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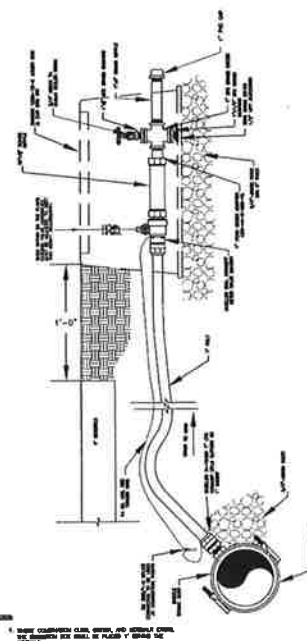
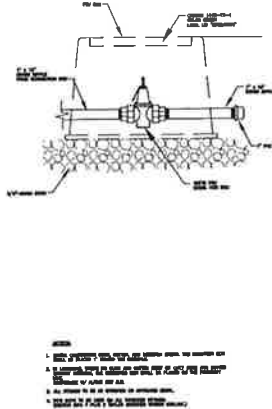
HIGH BACK CURB & GUTTER
N.T.S.



WATER WAY
N.T.S.



Pressurized Irrigation
System w/PRV
23B



Pressurized Irrigation
Distribution System
23A

REVISION BLOCK		DESCRIPTION
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DETAILS

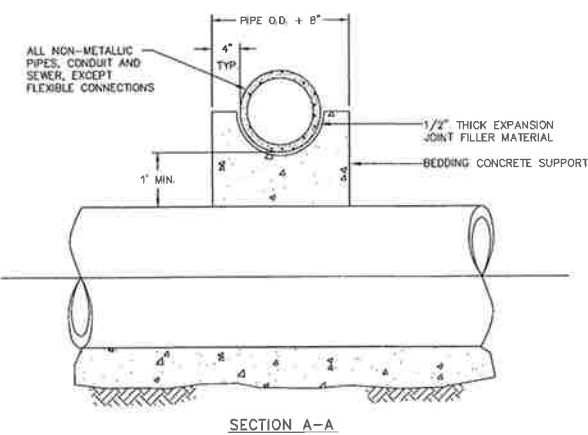
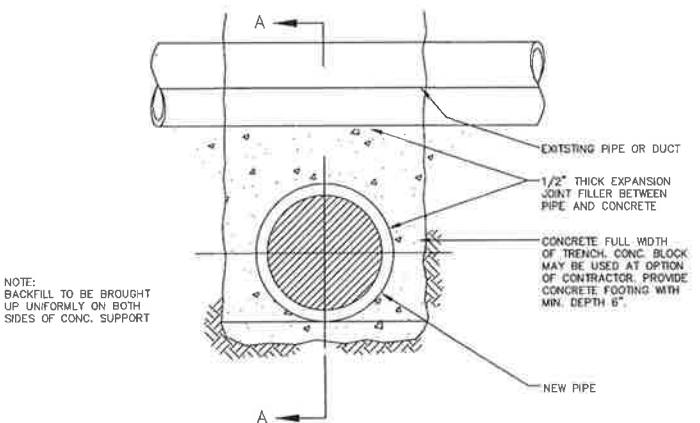
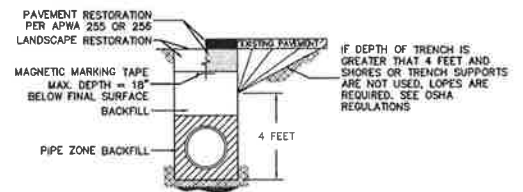
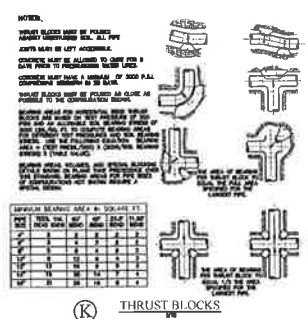
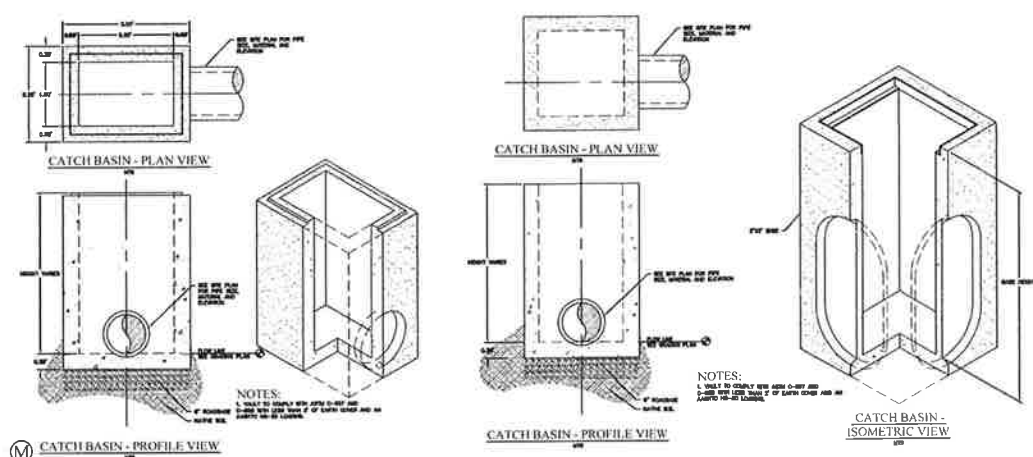
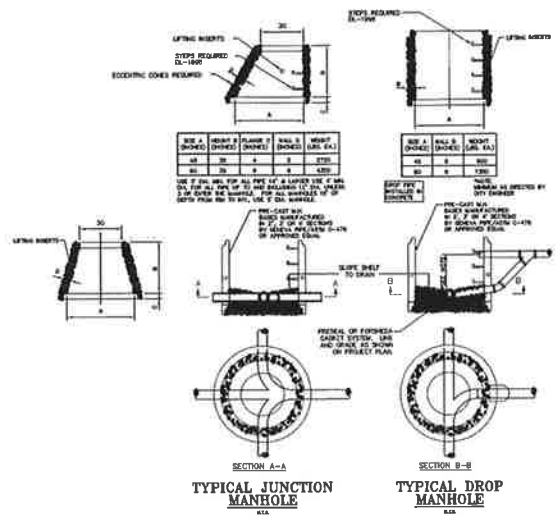
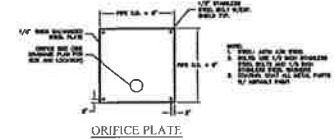
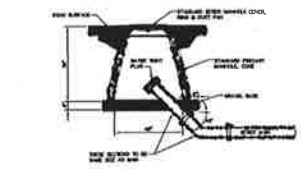
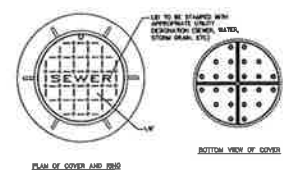
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Date	10/24/2016	Job #	16-034
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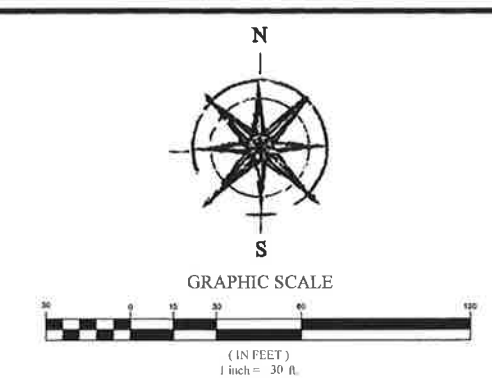
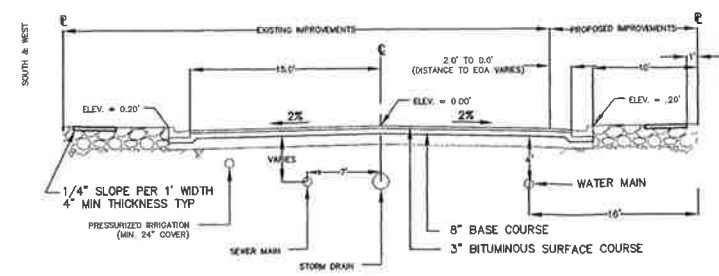


WHITE PINE ESTATES ALPINE CITY

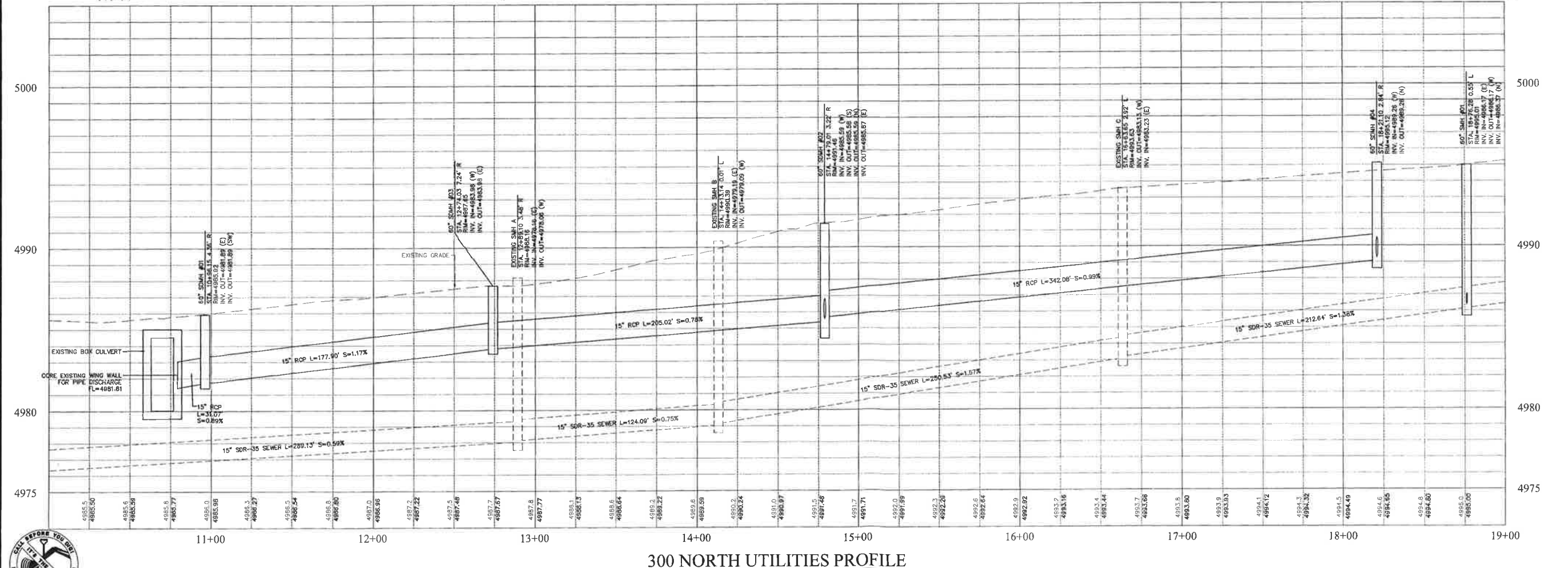
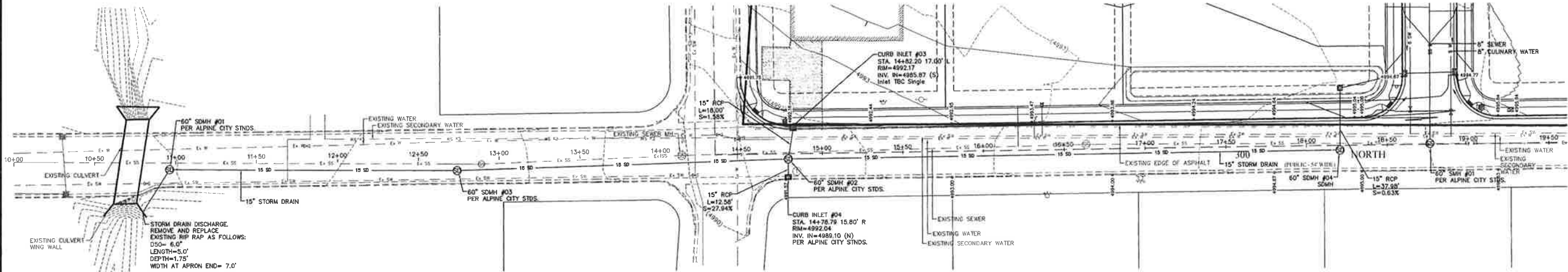
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Sheet:	C7





EXISTING AND PROPOSED STREET
CROSS-SECTIONS & UTILITY LOCATIONS



300 NORTH UTILITIES PROFILE

FOCUS
ENGINEERING AND SURVEYING, LLC
33 WEST CENTER STREET
MIDVALE, UT 84047 P.O. BOX 1001
www.focusut.com



WHITE PINE ESTATES
ALPINE CITY

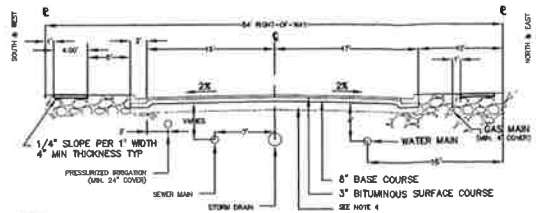
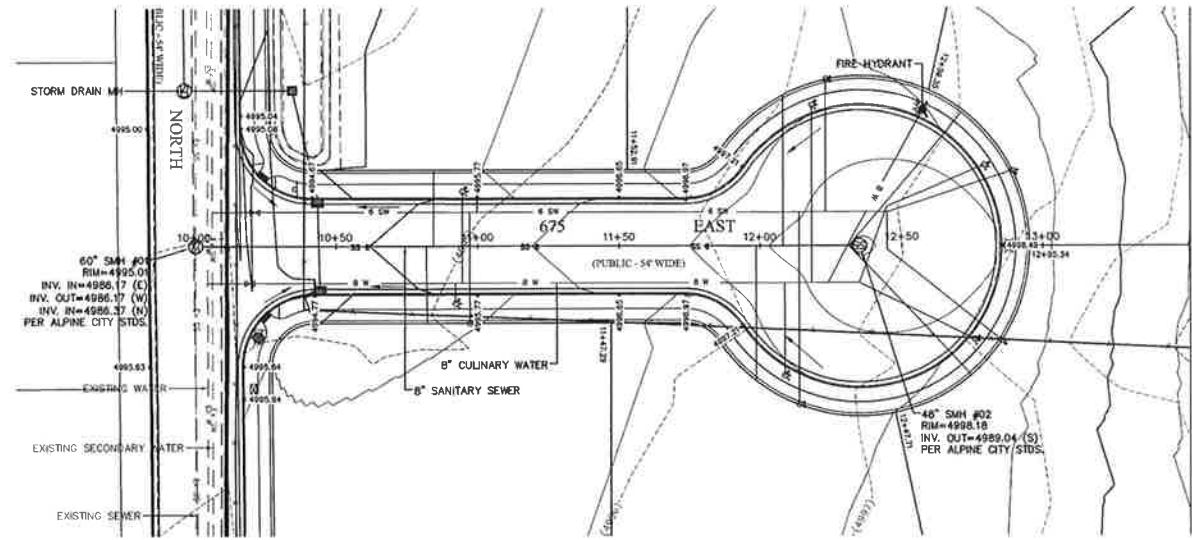
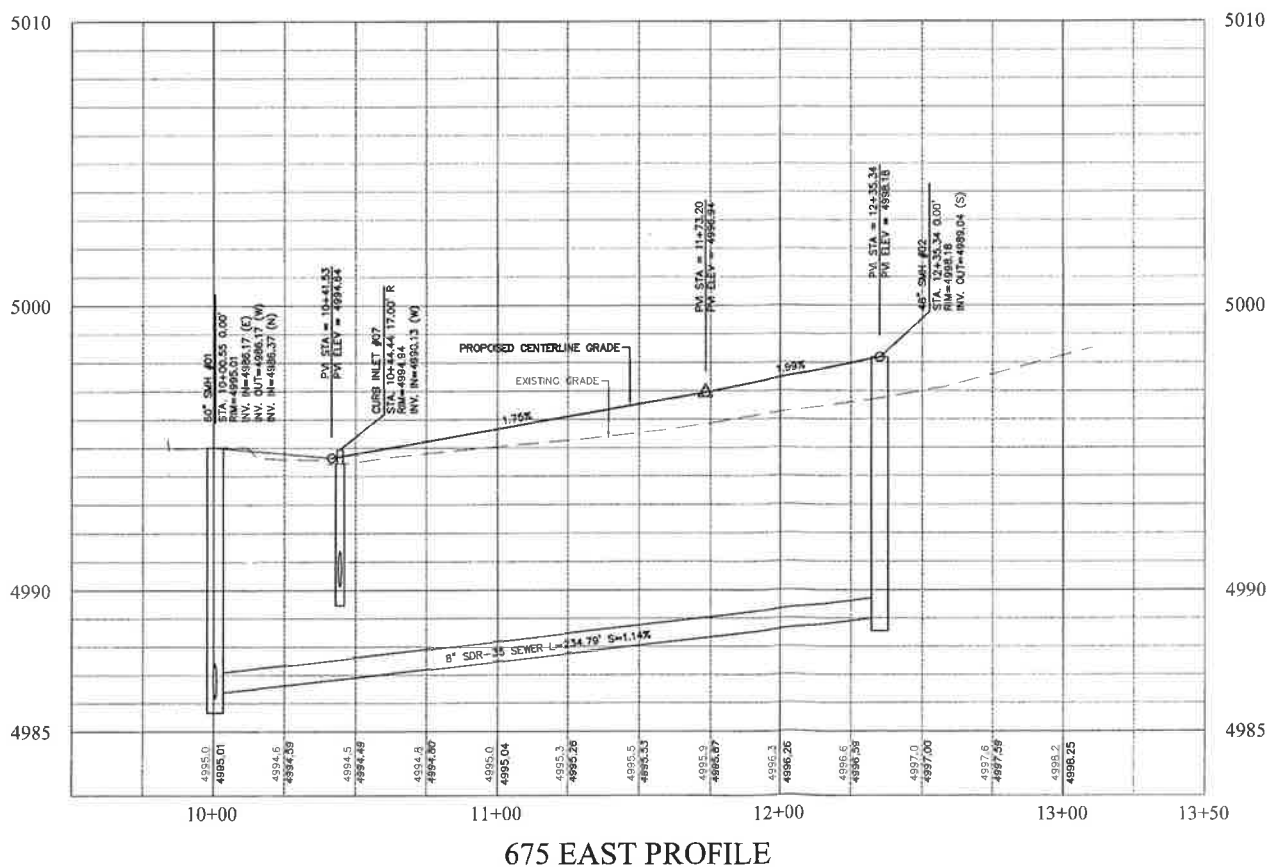
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**P&P - 300
NORTH -
UTILITIES**

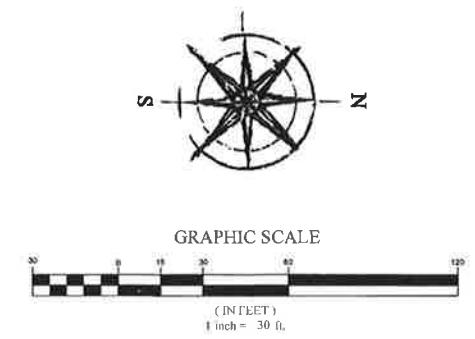
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Sheet: PP1



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- NOTES:
1. WATER VALVES AND 5-INCH VALVE OPENING MUELLER FIRE HYDRANTS SHALL BE LOCATED AS APPROVED.
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FOCUS
ENGINEERING AND SURVEYING, LLC
32 WEST CENTER STREET
MIDVALE, UTAH 84047 P.O. BOX 352-0075
www.focusnh.com



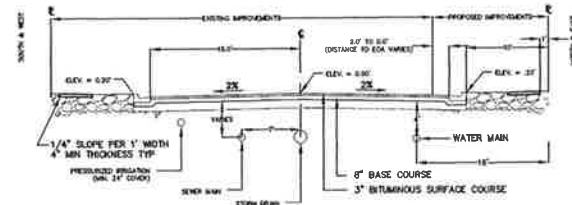
WHITE PINE ESTATES

ALPINE CITY

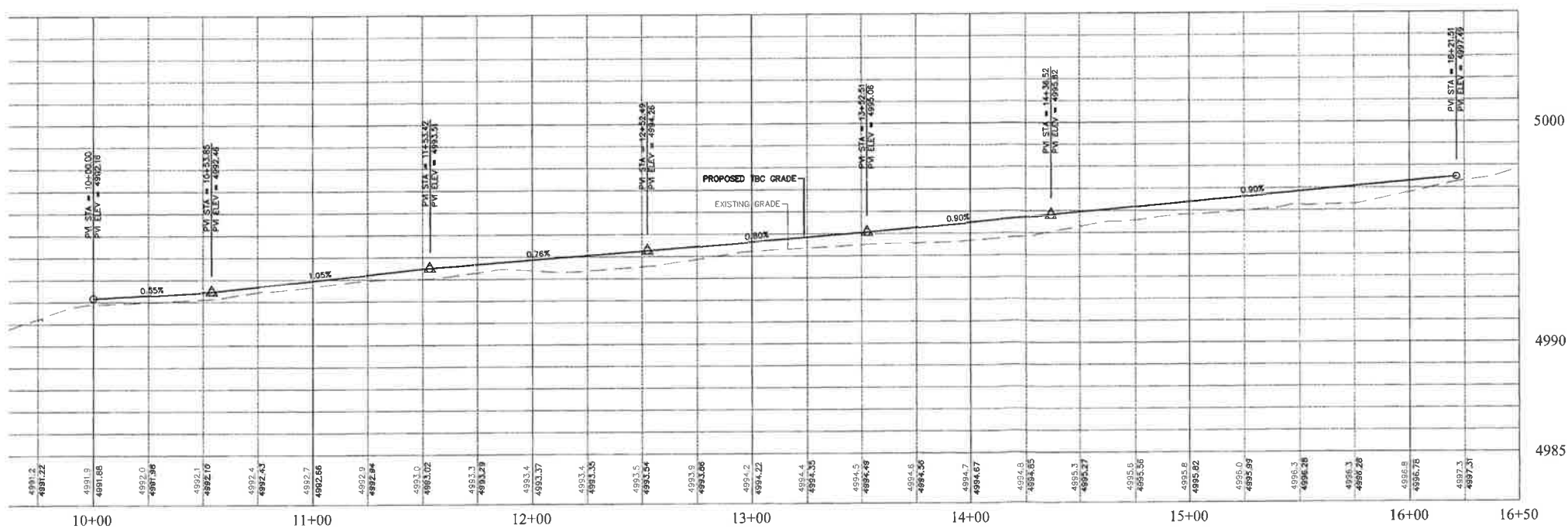
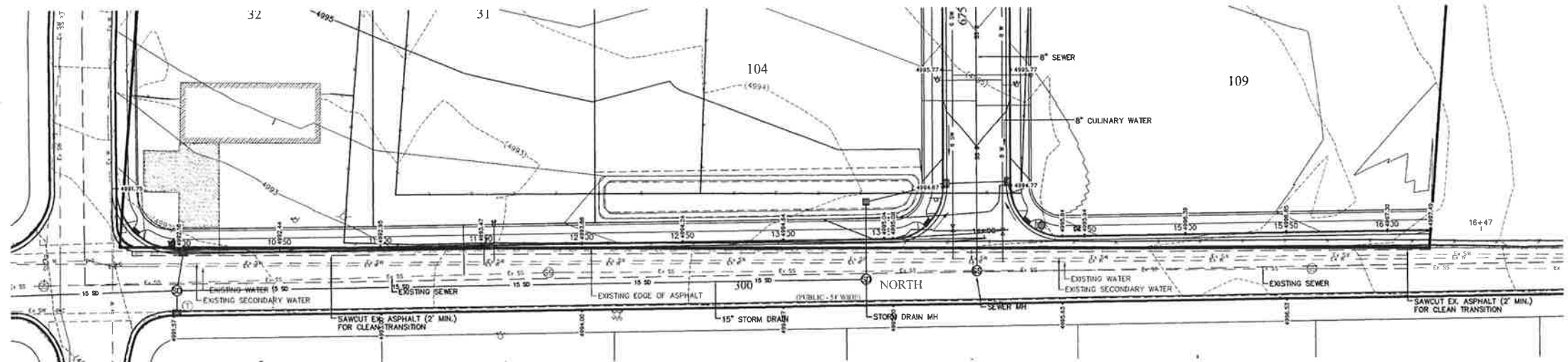
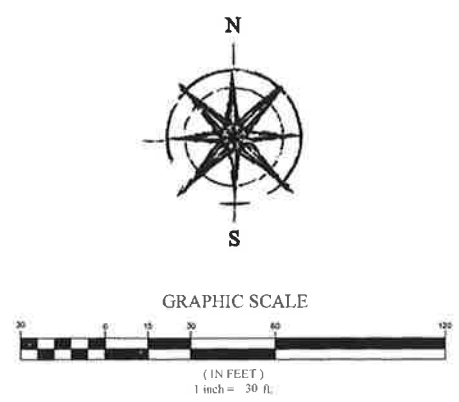
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P&P - 675 EAST

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Date: 10/24/2016 Job #: 16-034
Sheet: PP2



EXISTING AND PROPOSED STREET
CROSS-SECTIONS & UTILITY LOCATIONS
N.T.S.



300 NORTH TBC PROFILE



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ENGINEERING AND SURVEYING, LLC
32 WEST CENTER STREET
MIDVALE, UTAH 84047 PH: (801) 352-0075
www.focusutah.com



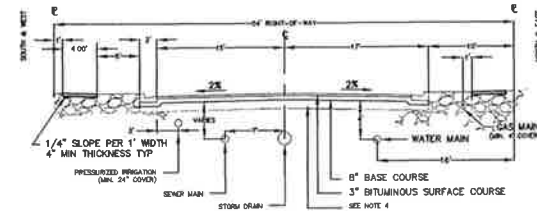
WHITE PINE ESTATES
ALPINE CITY

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P&P - 300
NORTH - TBC

Scale: 1"=30' Drawn: JRW
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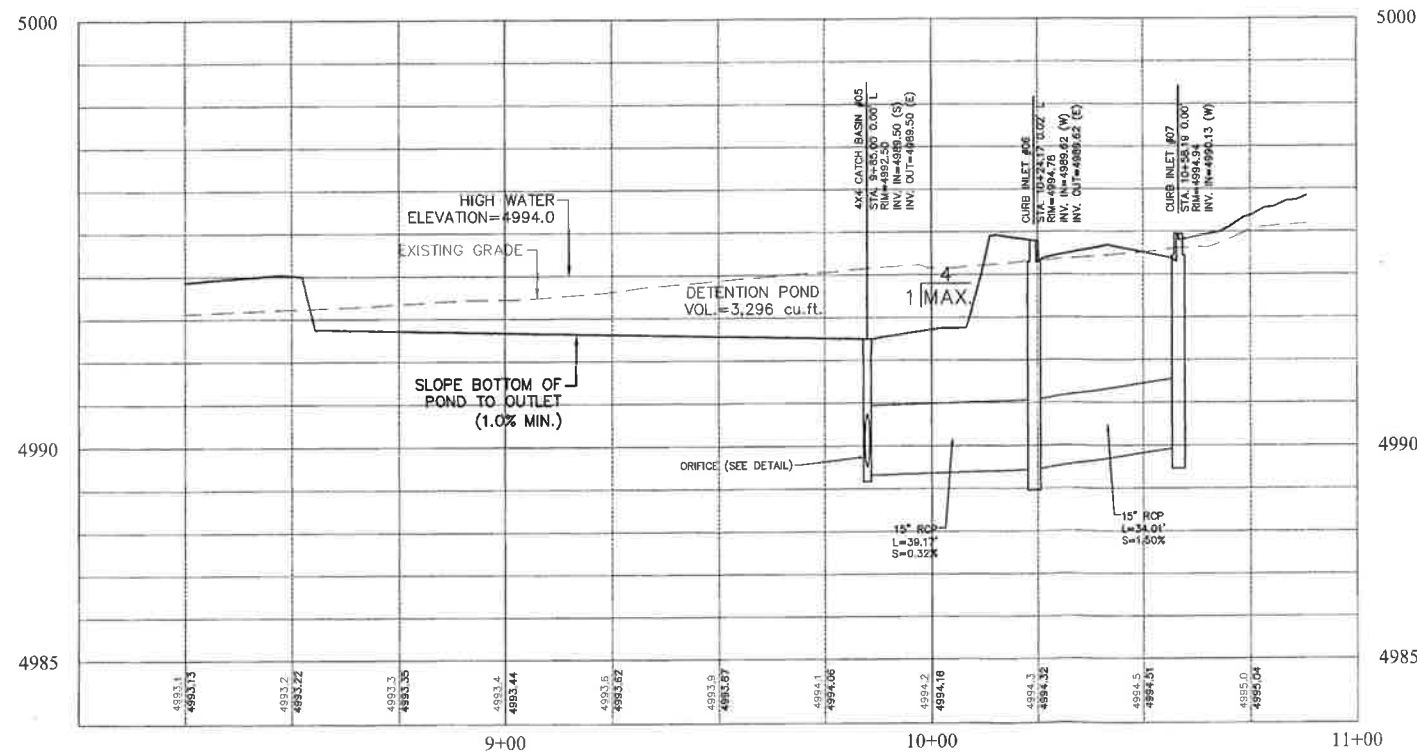
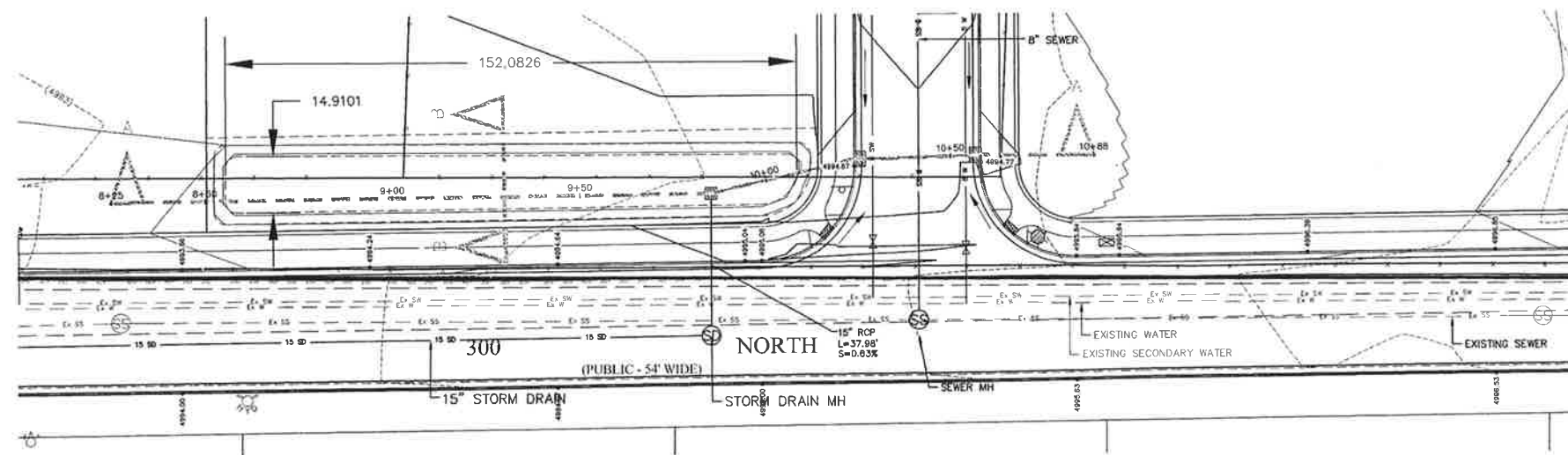
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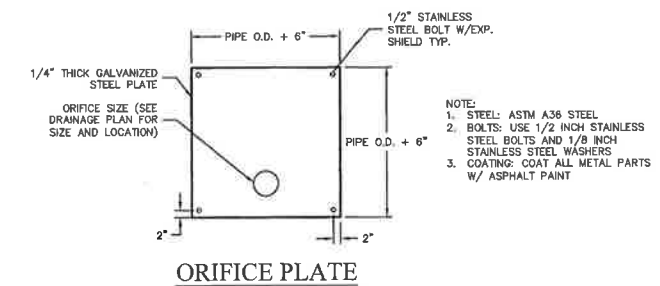
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STREET CROSS-SECTIONS & UTILITY LOCATIONS

N.T.S.



POND SECTION AA PROFILE



- NOTE:
1. STEEL: ASTM A36 STEEL
 2. BOLTS: USE 1/2 INCH STEEL BOLTS AND 1/8 INCH STEEL WASHERS
 3. COATING: COAT ALL METAL PARTS W/ ASPHALT PAINT

WHITE PINE ESTATES ALPINE CITY

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32 WEST CENTER STREET
MIDVALE, UTAH 84047 PH: (801) 352-0075
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REVISION BLOCK	DATE	DESCRIPTION
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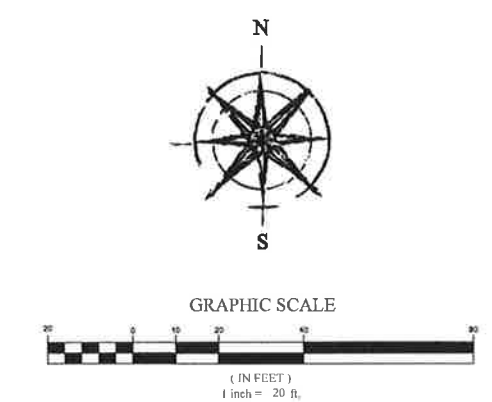
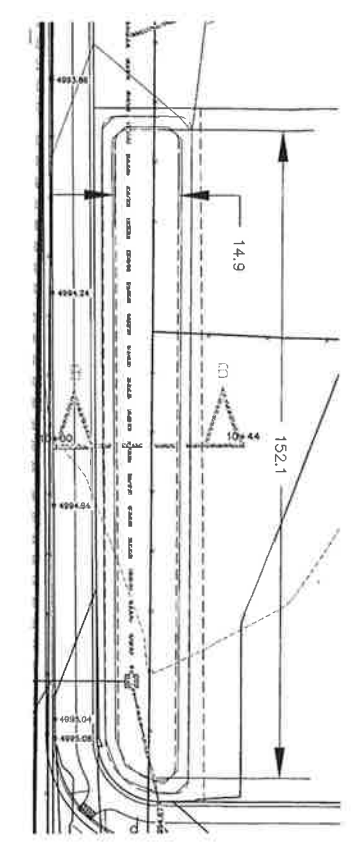
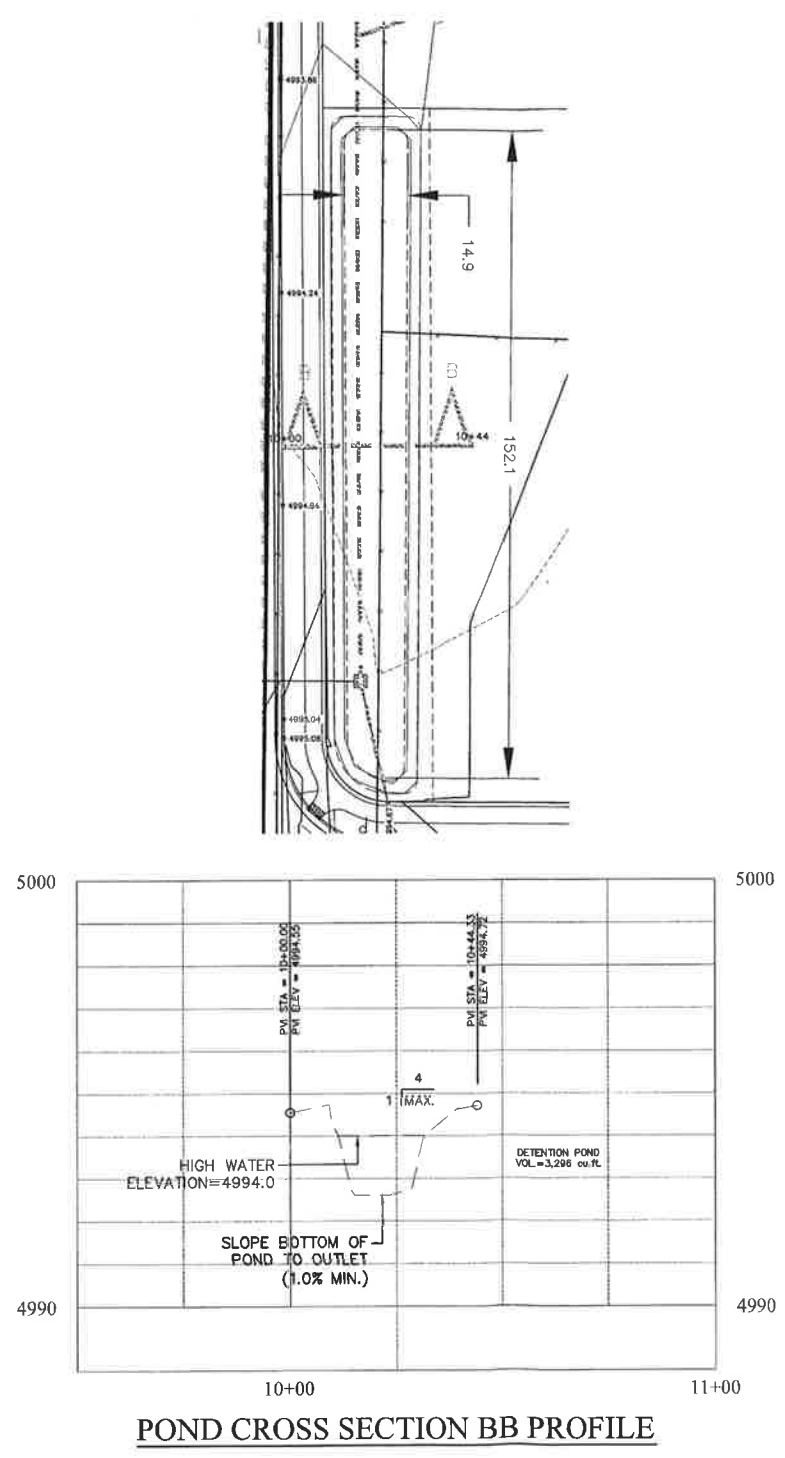
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Date: 10/24/2016 Job #: 16-034
Sheet:

PP4



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ENGINEERING AND SURVEYING, LLC
32 WEST CENTER STREET
MIDVALE, UTAH 84047 PH: (801) 352-0075
www.focusinc.com



WHITE PINE ESTATES
ALPINE CITY
P&P - POND CROSS SECTION

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P&P - POND CROSS SECTION

Scale: 1"=20'
Date: 01/24/2016
Sheet: PP5

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Job #: 16-034

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ALPINE CITY COUNCIL AGENDA

SUBJECT: Ordinance No. 2016-23
Home Occupation Ordinance Amendment (Section 3.23.7.3)

FOR CONSIDERATION ON: 8 November 2016

PETITIONER: Planning Commission

ACTION REQUESTED BY PETITIONER: Review Potential Amendments

APPLICABLE STATUTE OR ORDINANCE: Section 3.1.9 (Amendments)

BACKGROUND INFORMATION:

Recently at Planning Commission meetings, the Planning Commission have discussed and reviewed some of the requirements that are included in section 3.23.7.3 of the Alpine City Development Code regarding home occupations. There may be some requirements that need to be changed or removed. The requirements for amending an ordinance is attached.

Also attached is the City Planner's recommended amendments. The changes to address previously discussed concerns focus on the property looking, sounding, etc. like a typical residential property. These proposed amendments have been reviewed by the City Attorney and no concerns were indicated. The Planning Commission can accept, modify or throw out these recommendations when making their recommendation to the City Council.

PLANNING COMMISSION RECOMMENDATION:

MOTION: Jason Thelin moved to recommend to the City Council approval of the proposed Home Occupation Ordinance Amendment (Section 3.23.7.3) with the following changes:

1. Criteria #2 is read as: The home occupation is conducted entirely within the livable area of a dwelling or attached garage. Business outdoor activities such as swimming lessons, tennis lessons, horseback riding lessons or other similar activities as determined by the Planning Commission may be considered as a home occupation.
2. Criteria #4 is read as: The home occupation does not involve the use of any accessory buildings or yard space for storage outside of the dwelling or attached garage.
3. Criteria #9 is read as: The home occupation shall not occupy an area not more than the equivalent of twenty-five percent (25%) of the livable area of the dwelling or 1000 square feet, whichever is less. The livable area does not include the garage.

David Fotheringham seconded the motion. The motion passed with 6 Ayes and 0 Nays. Bryce Higbee, Jason Thelin, David Fotheringham, Steve Cosper, Jane Griener, and Carl Merrill all voted Aye.

3.1.9.1 Amendments to the Zoning Ordinance

Amendments to the Zoning Ordinance may be initiated by the City Council, the Planning Commission, the staff, or by an owner of real property in the area included in the proposed amendment.

Amendments to the Zoning Ordinance:

1. Shall first be submitted to the Planning Commission for its review and recommendation.
2. The Planning Commission shall provide appropriate notice and hold a public hearing on proposed amendments to the zoning ordinance before making a recommendation to the City Council. The Planning Commission may hold additional public hearings if deemed necessary or appropriate by the Planning Commission.
3. The Planning Commission shall prepare and make a recommendation to the City Council on proposed amendments to the zoning ordinance that represents the Planning Commission's recommendation for regulating the use and development of land within all or any part of the area of the City.
4. The City Council shall consider each proposed amendment to the zoning ordinance recommended by the Planning Commission. The City Council shall have the option to hold a public hearing(s).
5. The City Council may adopt or reject amendments to the zoning ordinance either as proposed by the Planning Commission or after making any revisions the City Council considers appropriate.

3.23.7.3

Home Occupations (Ord. 95-04, 2/28/95. Amended Ord. 08-18, 12/16/08; Ord. 2009-14, 9/22/09; Ord. 2010-07, 5/11/10; Ord. 2010-11, 10/12/10; Ord. 2013-04, 3/12/13; Ord. 2014-06, 3/25/14). Home occupations may be permitted as a conditional use, upon review of Staff and approval by the City Planner. If the City Planner determines that the home occupation may create significant impacts, approval from the Planning Commission may be required. All home occupations will be subject to compliance with the following:

1. Terms and Conditions.

- (1) Home occupations are listed as a conditional use in the zone.
- (2) The home occupation is conducted entirely within the living area of a dwelling, ~~or attached garage, or accessory building.~~ Outdoor activities such as swimming lessons, tennis lessons, horseback riding lessons or other similar activities as determined by the Planning Commission may be considered as a home occupation.
- (3) The business activity of the Home Occupation carried out on the premises shall be conducted only by members of the residing family, except that not more than one person, not a member of the residing family, may be engaged in the conduct of the home occupation if such person is utilized in the capacity of a support function.
- (4) The home occupation does not involve the use of ~~any accessory buildings or~~ yard space for storage ~~or activities~~ outside of ~~the dwelling-a dwelling, attached garage, or accessory building.~~
- (5) The home occupation shall contain no facilities for the display of goods. Any sale of goods and services shall constitute a clearly incidental part of the operation of the home occupation.
- (6) No commercial vehicles shall be stored at the premises except one delivery truck which does not exceed 12,000 gvw rated capacity.
- (7) The home occupation is clearly incidental and secondary to the use of the ~~dwelling~~ property for dwelling purposes and does not change the residential character of ~~the any building from that of a dwelling-on the property.~~
- (8) Home occupation signs shall be limited to one (1) identification nameplate, not larger in area than two (2) square feet fastened to the home, and one (1) sign, not larger in area than one (1) square foot, fastened to the side of the mailbox structure at or below the level of the mail box. No off-site advertising signs shall be permitted.
- ~~(9) The Home Occupation shall occupy an area not more than the equivalent of twenty-five percent (25%) of the ground floor area of the dwelling or 500 square feet, whichever is less. If there is more than one (1) home occupation in a home, the total square footage of the home occupations combined shall not exceed twenty-five (25%) of the ground floor area of the dwelling or 500 square feet, whichever is less.~~
- (10) The home occupation shall obtain a business license from the City.
- (11) The activities of the home occupation shall not involve the use of hazardous materials or chemicals in amounts that will increase the hazard of fire or explosion. Activities of the home occupation shall not decrease safety to the structure or occupants of the dwelling or adjacent dwellings.

- (12) The operation of the home occupation shall not produce any noise, smoke, glare, light, fumes, dust, electronic interference or similar condition which is discernible outside the dwelling.
- (13) The physical appearance, traffic, and other activities in connection with the home occupation will not be contrary to the intent of the zone in which the home occupation is located and, in the opinion of the Planning Commission, the activities of the home occupation will not depreciate surrounding property values or the quality of the area for residential purposes as determined by the Planning Commission.
- (14) A sexually-oriented business shall not be a home occupation.
- (15) An automotive repair business shall not be a home occupation.
- (16) If the home occupation will have customers/clients coming to the home as part of the business, an inspection(s) of the business portion of the home is required to determine compliance with zoning, building, and life safety requirements. When no customers/clients will be coming to the home as part of the business, the applicant shall be required to submit the home business self fire inspection form.

2. Commission May Attach Conditions.

In order to achieve the objectives of this Code and to protect the health, safety and quality of life in the community the Planning Commission or City Planner may attach conditions to the granting of a home occupation consistent with the standards hereinabove stated.

3. Continuing Obligation - Business License Required.

All home occupations shall be operated in compliance with the conditions herein above set forth and any conditions which may be attached as part of the approval. Upon approval of a home occupation the applicant shall be eligible to acquire a business license to operate. Issuance of the Business License shall be conditioned upon continued performance of the conditions of approval and said license shall be refused or revoked upon failure of the owner and/or operator to maintain or operate the home occupation in accordance therewith.

The approval shall be valid for the remainder of the year in which it is first granted. Thereafter the approval will be extended for successive one year periods, commencing on January 1 of the calendar year, or such other date as the Council or City Planner may from time to time establish as the effective date for business licenses, provided (1) that the home occupation remains substantially the same as initially approved and (2) that the home occupation has remained active as evidenced by the acquisition of a valid business license for the previous year.

ORDINANCE NO. 2016-23

**AN ORDINANCE ADOPTING AMENDMENTS TO THE HOME OCCUPATION
ORDINANCE**

WHEREAS, The City Council of Alpine, Utah has deemed it in the best interest of Alpine City to allow more types of home occupations to be conditionally permitted; and

WHEREAS, the Alpine City Planning Commission has reviewed the proposed amendment to the Development Code, held a public hearing, and has forwarded a recommendation to the City Council; and

WHEREAS, the Alpine City Council has reviewed the proposed amendment to all zones:

NOW, THEREFORE, BE IT ORDAINED BY THE ALPINE CITY COUNCIL THAT:

The amendments to section 3.23.7.3 will supersede section 3.23.7.3 as previously adopted.

This Ordinance shall take effect upon posting.

Passed and dated this 8th day of November 2016.

Sheldon Wimmer, Mayor

ATTEST:

Charmayne G. Warnock, Recorder

3.23.7.3

Home Occupations (Ord. 95-04, 2/28/95. Amended Ord. 08-18, 12/16/08; Ord. 2009-14, 9/22/09; Ord. 2010-07, 5/11/10; Ord. 2010-11, 10/12/10; Ord. 2013-04, 3/12/13; Ord. 2014-06, 3/25/14). Home occupations may be permitted as a conditional use, upon review of Staff and approval by the City Planner. If the City Planner determines that the home occupation may create significant impacts, approval from the Planning Commission may be required. All home occupations will be subject to compliance with the following:

1. Terms and Conditions.

- (1) Home occupations are listed as a conditional use in the zone.
- (2) The home occupation is conducted entirely within the livable area of a dwelling or attached garage. Business outdoor activities such as swimming lessons, tennis lessons, horseback riding lessons or other similar activities as determined by the Planning Commission may be considered as a home occupation.
- (3) The business activity of the Home Occupation carried out on the premises shall be conducted only by members of the residing family, except that not more than one person, not a member of the residing family, may be engaged in the conduct of the home occupation if such person is utilized in the capacity of a support function.
- (4) The home occupation does not involve the use of any accessory buildings or yard space for storage outside of the dwelling or attached garage.
- (5) The home occupation shall contain no facilities for the display of goods. Any sale of goods and services shall constitute a clearly incidental part of the operation of the home occupation.
- (6) No commercial vehicles shall be stored at the premises except one delivery truck which does not exceed 12,000 gvw rated capacity.
- (7) The home occupation is clearly incidental and secondary to the use of the property for dwelling purposes and does not change the residential character of any building on the property.
- (8) Home occupation signs shall be limited to one (1) identification nameplate, not larger in area than two (2) square feet fastened to the home, and one (1) sign, not larger in area than one (1) square foot, fastened to the side of the mailbox structure at or below the level of the mail box. No off-site advertising signs shall be permitted.
- (9) The home occupation shall not occupy an area not more than the equivalent of twenty-five percent (25%) of the livable area of the dwelling or 1000 square feet, whichever is less. The livable area does not include the garage.
- (10) The home occupation shall obtain a business license from the City.
- (11) The activities of the home occupation shall not involve the use of hazardous materials or chemicals in amounts that will increase the hazard of fire or explosion. Activities of the home occupation shall not decrease safety to the structure or occupants of the dwelling or adjacent dwellings.
- (12) The operation of the home occupation shall not produce any noise, smoke, glare, light, fumes, dust, electronic interference or similar condition which is discernible outside the dwelling.

- (13) The physical appearance, traffic, and other activities in connection with the home occupation will not be contrary to the intent of the zone in which the home occupation is located and, in the opinion of the Planning Commission, the activities of the home occupation will not depreciate surrounding property values or the quality of the area for residential purposes as determined by the Planning Commission.
- (14) A sexually-oriented business shall not be a home occupation.
- (15) An automotive repair business shall not be a home occupation.
- (16) If the home occupation will have customers/clients coming to the home as part of the business, an inspection(s) of the business portion of the home is required to determine compliance with zoning, building, and life safety requirements. When no customers/clients will be coming to the home as part of the business, the applicant shall be required to submit the home business self fire inspection form.

2. Commission May Attach Conditions.

In order to achieve the objectives of this Code and to protect the health, safety and quality of life in the community the Planning Commission or City Planner may attach conditions to the granting of a home occupation consistent with the standards hereinabove stated.

3. Continuing Obligation - Business License Required.

All home occupations shall be operated in compliance with the conditions herein above set forth and any conditions which may be attached as part of the approval. Upon approval of a home occupation the applicant shall be eligible to acquire a business license to operate. Issuance of the Business License shall be conditioned upon continued performance of the conditions of approval and said license shall be refused or revoked upon failure of the owner and/or operator to maintain or operate the home occupation in accordance therewith.

The approval shall be valid for the remainder of the year in which it is first granted. Thereafter the approval will be extended for successive one year periods, commencing on January 1 of the calendar year, or such other date as the Council or City Planner may from time to time establish as the effective date for business licenses, provided (1) that the home occupation remains substantially the same as initially approved and (2) that the home occupation has remained active as evidenced by the acquisition of a valid business license for the previous year.

ALPINE CITY COUNCIL AGENDA

SUBJECT: Approve Test Well Engineering and Construction Management Contract

FOR CONSIDERATION ON: November 9, 2016

PETITIONEER: Public Works Department

ACTION REQUESTED BY PETITIONER: Approve Engineering/CM Contract

APPLICABLE STATUTE OR ORDINANCE: N/A

PETITION IN COMPLIANCE WITH ORDINANCE: N/A

INFORMATION: At the last City Council meeting, we discussed drilling a test well. We have worked with Horrocks Engineers and Loughlin Water Associates on a contract for the engineering portion of drilling the test well. This contract includes bidding out the drilling of the test well, testing and logging during the drilling process, and preparing a test well report. The contract for the work will not exceed \$40,783.

<p>RECOMMENDATION: Approve the contract with Horrocks Engineers for the test well engineering and construction management.</p>

Shane Sorensen
Alpine City Public Works Director
20 North Main
Alpine, Utah 84004

October 27, 2016

Subject: Proposal to Assist the City in Drilling a Test Well

Dear Shane:

This proposal is to assist the City in drilling and evaluating a test well in preparation for drilling and developing a full production well for the City's pressurized irrigation system. The proposal include the following:

1. Design test well, prepare technical specifications, and prepare bidding documents.
2. Assist with pre-qualification of contractors
3. Assist with bidding and selection of contractor
4. Provide well site services and construction management
5. Prepare test well report

Our estimate assumes the following:

- Alpine City will prepare and submit an application to drill and construct a non-production well to the State of Utah Division of Water Rights or prepare and submit a water right change application that will allow for drilling a test well.
- Analysis of water samples will be paid for separately by the City
- Well site services are assumed to take 4 weeks for drilling. More or less time and cost may be necessary depending on drilling conditions.

We propose to provide the requested assistance for a not to exceed fee of \$40,783. The majority of this cost is for our hydrogeologic subconsultant Loughlin Water Associates.

If you have any questions please call.

Sincerely,
HORROCKS ENGINEERS

John E. Schiess, P.E.
Principal Engineer

cc:

ALPINE CITY COUNCIL AGENDA

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PETITIONEER: Public Works Department

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Sincerely,
HORROCKS ENGINEERS

John E. Schiess, P.E.
Principal Engineer

cc:

ALPINE CITY COUNCIL AGENDA

SUBJECT: Approve Fort Canyon Road Public Information Contract

FOR CONSIDERATION ON: November 9, 2016

PETITIONEER: City Staff

ACTION REQUESTED BY PETITIONER: Approve PI Contract

APPLICABLE STATUTE OR ORDINANCE: N/A

PETITION IN COMPLIANCE WITH ORDINANCE: N/A

INFORMATION: At the last City Council meeting, we discussed hiring Horrocks Engineers to assist in providing information to the public during the reconstruction of Fort Canyon Road. We will provide the contract proposal prior to the City Council meeting that will list the details and costs.

<p>RECOMMENDATION: Approve the contract with Horrocks Engineers for providing public information during the reconstruction of Fort Canyon Road.</p>
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